



CONDITION ASSESSMENT OF **THE ACADEMY OF MEDICINE** FOR THE GEORGIA INSTITUTE OF TECHNOLOGY

01.07.2009

Project Description

Designated: Landmark Building Exterior
October 23, 1989

875 West Peachtree Street, N.W.
Fronting 192.7' on the east side of West Peachtree
Street at the southeast corner of the intersection of
7th and West Peachtree Streets
District 14, Land Lot 49
Fulton County, City of Atlanta
Existing Zoning C-4

Constructed: 1941
Architects: Hentz, Adler and Shutze with R. Kennon Perry
Restoration & Renovation: Surber, Barber and Mooney,
1981-1983

Owner

Georgia Tech Foundation, Inc.
760 Spring Street, NW, Ste. 400
Atlanta, Georgia 30308

Owner's Representatives

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Applicable Codes

Note: State Amendments apply to all codes

2006 International Building Code:

Group A2/A3 Occupancy, Type IIA Construction, unsprinklered
Table 503, Building Gross Area = +/- 19,546 SF on 2 levels as follows:
Upper Level = +/- 10,335 SF, Lower Level = +/- 9,211 SF
Allowable Max. Height: 2 Stories / Max. Area per Flr.: 16,625 SF (per 506.1)
Note: Per IBC 502 the lower level is considered a story above grade.

2000 NFPA 101 Life Safety Code: Existing Assembly Occupancy, unsprinklered
Construction Type II (111)

2006 International Plumbing Code

2006 International Mechanical Code

ADA Standards for Accessible Design

Historic Review-Atlanta UDC: Reviews all exterior work

State Historic Preservation Office (SHPO): Reviews work involving public funds

Note: The building occupancy has remained the same since the initial occupancy in 1941. The structure consists of a lower level floor slab, concrete columns, elevated floor slabs at the upper level and attic, and a pitched and flat wood stick frame roof. Exterior walls are solid brick with stucco on the exterior and plaster on the interior. Interior partitions are primarily clay tile with plaster. The lower level walls from the 1981 renovation have metal studs with gypsum wallboard.



Historical Significance

Located on the southeast corner of West Peachtree and Seventh Streets, the Academy of Medicine displays an architectural style, scale, setback and landscape features unique to the Midtown area of Atlanta. This building is significant to the city in three categories. It is historically significant as the home of Atlanta's oldest medical society, the Medical Association of Atlanta, established as the Brotherhood of Physicians in the 1850s. Architecturally, the Academy of Medicine is significant for its Neo-Classical design attributed to Philip T. Shutze, though R. Kennon Perry supervised the project. As a central meeting place for the medical society, where members shared ideas, discussed medical techniques and theories for many years, as well as the more recent site of recitals, concerts and small conferences, the Academy of Medicine also possesses cultural significance in the City of Atlanta.

Source: Atlanta Urban Design Commission
www.atlantaga.gov/government/urbandesgn_acamedicine.aspx

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		DATE 11.21.08	SHEET NUMBER TOC

EXECUTIVE SUMMARY

The Academy of Medicine – Condition Assessment

The following summarizes the assessment recommendations:

1. **Address Code Deficiencies:** The building should be brought into compliance with applicable codes, or proper variances should be obtained through the State Fire Marshall's Office. This is an area of liability for the owner. Some code deficiencies include the following:
 - a. **Door Hardware and Swings:** Change to comply with code requirements (panic hardware / push bar opening device, omit dead bolts, lower thresholds, reverse some door swings).
 - b. **Handrails and Guardrails:** Most do not meet code (improper height, no extension at top and bottom, handrails not present where required, guardrails have openings that exceed code allowable).
 - c. **Attic: Access Ladder and Guardrails:** New code/OSHA compliant guard rails and catwalk at attic openings and new access ladder.
 - d. **Proper Occupancy Signage:** Design and install once occupancy is agreed to with authority having jurisdiction.
 - e. **Accessible Means of Egress:** Needs to be determined, documented, and identified.
 - f. **Attic Roof Framing:** Wood framing requires fire protection.
2. **Address Building Envelope Deficiencies:** Delaying this work will result in increased damage and repair costs.
 - a. **Slab:** Seal lower level slab to reduce moisture content.
 - b. **Foundation:** Excavate and waterproof to correct active leaks. This should be done in conjunction with landscape work.
 - c. **Planters Adjacent to Auditorium:** Excavate, waterproof, and properly drain to prevent water from wicking into existing masonry walls and damaging plaster work.
 - d. **Exterior Stucco Cracks:** Two stucco treatments are offered in the report.
 - e. **Exterior Wood: Trim, Windows, Doors:** Strip paint, repair rotten wood, prime, re-glaze, and repaint.
 - f. **Roof: Copper:** The existing copper roof was poorly installed and requires major work. Internal downspouts and overflow scuppers are undersized. The report suggests upsizing the overflow scuppers.
 - g. **Roof: Flat:** The existing flat modified bitumen roof was poorly installed and needs to be replaced. Add new roof hatches.
3. **Address Building Systems Deficiencies:** This work has bearing on energy costs, maintenance costs, indoor air quality, and life safety.
 - a. **Mechanical:** The heating / air conditioning equipment is substantially (with exceptions) at the end of their useful life, do not provide sufficient outside air (particularly during the heating cycle), are inefficient, and in need of near total replacement. Ductwork insulation requires improvements.
 - b. **Electrical: Power:** The system is in acceptable condition; however, lightning/surge protection should be added.
 - c. **Electrical: Lighting:** Recommend replacing existing light fixtures with energy efficient fixtures, and adding an auditorium dimming system.
 - d. **Low Voltage: Data/Comm:** Upgrade existing voice/data to meet Georgia Tech standards.
 - e. **Low Voltage: Fire Alarm:** Add a new fire alarm system with a properly located fireman's panel. Replace emergency fixtures.
 - f. **Plumbing:** Add new water heaters, back flow preventer, grease interceptor, pipe insulation, and re-circulating pump. Test piping for leaks and lead (conclusion of the test may result in replacement of piping, which is not included in the estimate). ADA/Georgia Accessibility upgrades to the rest rooms will be required if any rest room fixtures are replaced.
 - g. **Structural:** Roof framing requires repairs/code upgrades. The SW granite retaining wall may require replacement.
4. **Address Interior Finishes - Optional:** This work is desirable, relates to the income generating potential of the building, but will not contribute to further deterioration of non-finish systems if left unaddressed.
 - a. **Paint:** Interior colors are not original (historic). With the exception of touch up related to plaster repair, repainting the interior is not a critical need. The original, "historic", colors are identified as a color scheme option.
 - b. **Plaster:** Some plaster has deteriorated due to active leaks and needs repair.
 - c. **Fabric Wall Paneling:** Fabric on the auditorium wall paneling needs to be replaced.
5. **Probable Costs:** The total construction cost estimate for all work is \$2,300,000, excluding the "Lower Level Renovation", soft costs, furniture, fixtures, and equipment, landscape assessment and installation (planting, lighting, hardscape), further systems testing, and environmental testing and abatement.
 - a. **Upper Level Rest Room Renovation Included:** The assessment suggests an ADA/Georgia Accessibility Code upgrade; however, ADA and the Georgia Accessibility Code will only require an upgrade if any fixtures are changed. The upgrade is included in the \$2,300,000 estimate.
 - b. **Lower Level Renovation Excluded:** The lower level area set aside by the owner for a future renovation is estimated at \$550,000. Any expansion of assembly spaces will trigger a requirement to bring the entire building into compliance with codes for new buildings, making the upgrade considerably more costly than estimated.
 - c. **Landscape Excluded:** Landscape is not part of the study and not included in the estimate. We recommend that a landscape architect assess and make recommendations. The owner should budget for landscape repair, exterior lighting upgrades, re-striping, and resealing the parking lot.
 - d. **Environmental Excluded:** An environmental assessment or associated abatement costs is not included.
6. **Conclusion:** It is recommended that all of the items identified in the assessment be addressed. The owner will need to determine the phasing to fit their budget. The completion of the recommendations will protect the property from costly deterioration, protect the owner from liability, enhance income producing potential, and reduce future annual maintenance costs.
- d. **Flooring:** The only original (historic) flooring is the lobby marble. Slip resistant sealers should be explored. All other flooring requires cleaning or replacement.
- e. **Ceiling Tiles:** Stained tiles should be replaced. Ceiling tiles ideally should not exist in a historic building; however, replacement with hard ceilings is not included in the estimate.

 	ACADEMY OF MEDICINE - CONDITION ASSESSMENT 875 WEST PEACHTREE STREET NE ATLANTA, GEORGIA 30309	TITLE	
		EXECUTIVE SUMMARY	
		DATE	SHEET NUMBER
		11.21.08	0

INTRODUCTION TO THE ASSESSMENT

The Academy of Medicine is a designated Landmark Historic Building designed by architect Philip Shutze as a consultant to the architecture firm of record, R. Kennon Perry. The building was dedicated on December 15, 1941, eight days after the attack on Pearl Harbour. This assessment involved researching the Shutze archives at the Atlanta History Center and visually inspecting the existing conditions. The process included valuable input from the owner's representatives, a team of consultants, and specialty trades.

Contents of Assessment

This assessment documents and makes recommendations in the following areas:

1. **Historical:** Historical materials include copies of the original drawings contrasted with current day as-built drawings, identification of the original architectural features and paint colors, and articles written about the building. The Shutze files that pertain to the Academy of Medicine were located at the Atlanta History Center. The files consisted of original drawings, specifications prepared by the architects of record, R. Kennon Perry, and limited correspondence that indicate Shutze's role was primarily front end design. The files are on a disk and in the possession of the owner.
2. **Code Compliance:** A summary of applicable codes and the identification of code compliance deficiencies are identified in the body of the report. The deficiencies primarily relate to the 2000 NFPA 101. The effort included reviews with City and State code officials as well as discussions with code experts at NFPA, IBC, and ADA. We recommend that the building be brought into full compliance with applicable codes, proper variances should be obtained through the State Fire Marshall's Office.
3. **Condition:** A conditions summary of the building envelope, the building interiors, and the building systems (structural, mechanical, plumbing, electrical, life safety, data, and communications) is included.
4. **Recommended Treatments:** The building envelope problems include a poorly installed and leaky copper and modified bitumen roof, cracks in the stucco, rotten and exposed wood at widows, doors, and trim, water infiltration through the foundation, and water infiltration via rising damp (water wicking up from the

foundation causing some plaster deterioration). The mechanical systems are in need of replacement. The plumbing needs include a new domestic water heater, back flow preventer, grease interceptor, pipe insulation, a recirculating pump, and testing of the sanitary piping and domestic water distribution for leaks and lead. Major ADA rest room upgrades will be triggered by any rest room renovation other than finishes, including the replacement of a single fixture. Electrically, the building was rewired and new equipment installed in the 1981 renovation. The existing voice/data infrastructure is limited. Recommendations are limited to a new fire alarm system, energy efficient light fixtures, lightning/surge protection at the building entrance, a dimming system, and miscellaneous other voice/data and electrical improvements.

5. **Color Study:** A color study was done identifying original colors in the primary upper level rooms and on the exterior. The archival material found in the Shutze archives makes no reference to color selections on the interior or exterior. The specifications identify products, numbers of coats, and sheens. The specifications state that the colors are to be selected by the owner and architect. The finish schedule simply noted paint and a number of coats. Based on the material available to us, we can not say that Shutze was or was not involved with color selections.
6. **Probable Costs:** A cost estimate for all of the recommended treatments is included in the back of this study (excluding landscape and environmental abatement costs). Pricing was solicited from specialty sub-contractors for exterior wood window, door, and trim repair, re-glazing, exterior stucco, interior plaster and decorative painting. The total construction costs estimate for all work except for the "Lower Level Renovation", landscape, and environmental abatement is \$2,200,000. A portion of the recommended treatments called "mission critical scope" has been identified. These are items that the building owners would like to accomplish as a priority within a limited budget that is to be determined. That work is currently estimated at \$810,000; however, the owner will need to determine the exact scope of work to fit their budget.

Lower Level Renovation

This assessment identifies a portion of the lower level that has been set aside by the owner for a future major renovation. The estimate includes an order of magnitude number totaling \$674,000 for that

work to be accomplished in the future. That number is not included in the \$2,200,000 total.

Upper Level Rest Room Renovation

This assessment suggests that the owner consider a major ADA/Georgia Accessibility Code upgrade to the upper level rest rooms; however, both ADA and the Georgia Accessibility Code will only require the upgrade when fixtures are changed. That scope is included in the \$2,200,000 estimate, but it is not included in the mission critical scope.

Landscape Excluded:

Landscape has not been addressed in this study. M+W identified code deficiencies pertaining to hardscape rails, the removal of plant material and soil in areas adjacent to the auditorium to address a rising damp problem, and some minor hardscape repairs.

We recommend that a landscape architect with expertise in historic landscapes be hired to assess and make recommendations for the Academy of Medicine parcel and the adjacent parking lot parcel. The owner should budget money for landscape repair and maintenance, re-stripping, and perhaps resealing the parking lot.

Philip Shutze produced a landscape plan (copy in this report) and was pleased with the implementation in 1942. The Shutze plan included a recommendation for a "mellow brick wall" along the street edge that was never built. The wall is reflected in the original landscape plan only, and there were no details.

Environmental Excluded:

This assessment does not include any environmental assessment or associated costs for abatement.

Conclusion

It is the recommendation of the consulting team that all of the items identified in the assessment be addressed as soon as funds are available. The completion of the recommended treatments will protect the property from costly deterioration, enhance the income producing potential of the property, and reduce future annual maintenance.

 	ACADEMY OF MEDICINE - CONDITION ASSESSMENT 875 WEST PEACHTREE STREET NE ATLANTA, GEORGIA 30309	TITLE	
		INTRODUCTION TO THE ASSESSMENT	
		DATE	SHEET NUMBER
		11.21.08	1



Legal Description
Tract 1

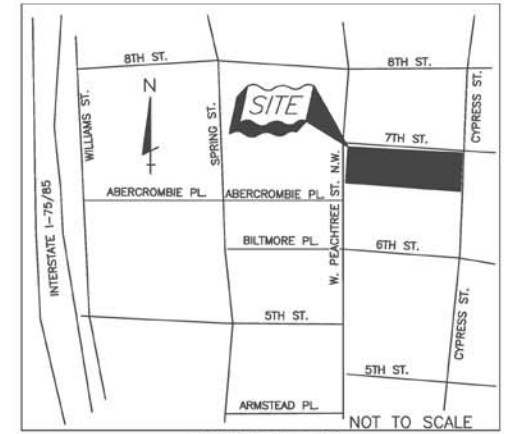
All of that tract or parcel of land lying and being in land lot 49, 14th District, City of Atlanta, Fulton County, Georgia containing 0.961 acres (41,848 sq. ft.) and being more particularly described as follows:

Beginning at a scribed "x" placed at the intersection of the easternmost right of way line of West Peachtree Street (having a 80 foot right of way) with the southernmost right of way line of Seventh Street (having a 50 foot right of way) thence along the southernmost right of way line of Seventh Street South 85°18'45" East, a distance of 225.27 feet to a 5/8" rebar found; thence leaving said right of way line of Seventh Street South 04°44'32" West, a distance of 192.20 feet to a 1/2" iron pin placed; thence North 85°14'33" West, a distance of 210.50 feet to a 1/2" rebar and cap found on the easternmost right of way line of West Peachtree Street; thence along said right of way line of West Peachtree Street North 00°20'34" East, a distance of 192.50 feet to a scribed "x" placed and THE TRUE POINT OF BEGINNING.

Legal Description
Tract 2

All of that tract or parcel of land lying and being in land lot 49, 14th District, City of Atlanta, Fulton County, Georgia containing 0.804 acres (35,016 sq. ft.) and being more particularly described as follows:

Commencing at a scribed "x" placed at the intersection of the easternmost right of way line of West Peachtree Street (having a 80 foot right of way) with the southernmost right of way line of Seventh Street (having a 50 foot right of way) thence along the southernmost right of way line of Seventh Street South 85°18'45" East, a distance of 225.27 feet to a 5/8" rebar found and THE TRUE POINT OF BEGINNING; thence continuing along the southernmost right of way line of Seventh Street South 85°19'45" East, a distance of 181.51 feet to a nail found at the intersection of the southernmost right of way line of Seventh Street with the westernmost right of way line of Cypress Street (having a 30 foot right of way); thence along the westernmost right of way line of Cypress Street South 04°25'01" West, a distance of 192.48 feet to a 1/2" iron pin placed; thence leaving said right of way line of Cypress Street North 85°14'33" West, a distance of 182.60 feet to a 1/2" iron pin placed; thence North 04°44'32" East, a distance of 192.20 feet to a 5/8" rebar found and THE TRUE POINT OF BEGINNING.



(R-1) LOCATION MAP
NOT TO SCALE

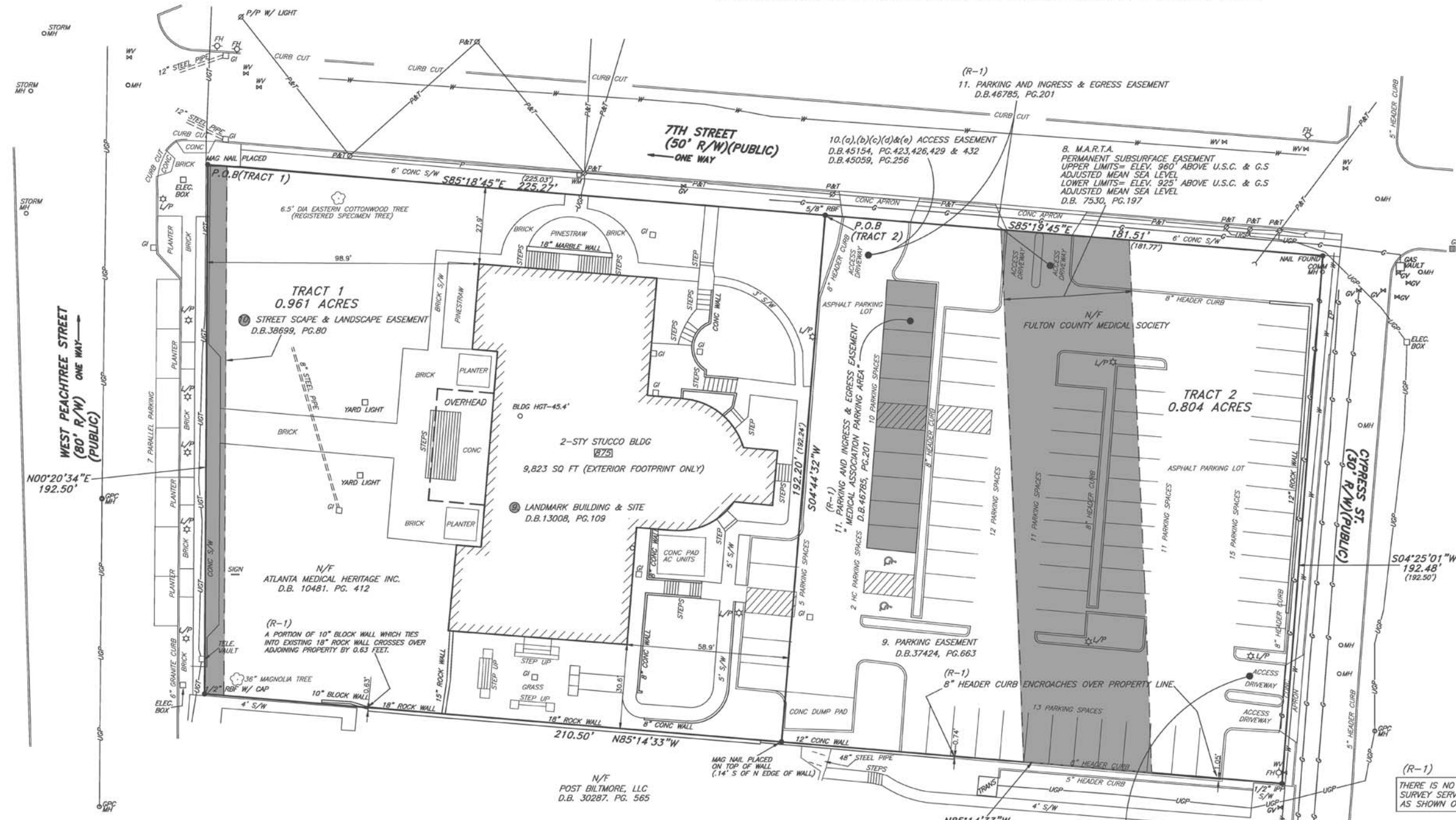
ZONING INFORMATION:
TRACT 1 & TRACT 2 ARE ZONED SPI-16 (MIDTOWN SPECIAL PUBLIC INTEREST DISTRICT) SUB AREA 1 (MIDTOWN COMMERCIAL) AS PER CITY OF ATLANTA ZONING DEPARTMENT- 404-330-6296.
INQUIRIES AS TO THE SITE SPECIFIC APPLICATION OF SETBACKS OR COMPLIANCE WITH ZONING RESTRICTIONS SHOULD BE DIRECTED TO THE APPROPRIATE JURISDICTIONAL ENTITY, CITY OF ATLANTA BUREAU OF PLANNING 404-330-6145 OR 404-330-6296.

FLOOD NOTE:
THIS SITE IS NOT WITHIN A 100-YEAR FLOOD HAZARD AREA AS PER CITY OF ATLANTA COMMUNITY PANEL #135157 0026 C LAST REVISED 3/04/1987

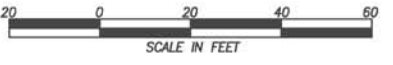
PARKING SUMMARY:
TOTAL PARKING: REGULAR PARKING- 77, 2 HANDICAP

LEGEND

RBFB	REBAR FOUND
IPP	IRON PIN PLACED (1/2" REBAR)
L/P	LIGHT POLE
P/P	POWER POLE
P	OVERHEAD POWER SVC LINE
P&T	OVERHEAD POWER/TELEPHONE LINE/POLE
WV	WATER VALVE
WM	WATER METER
GV	GAS VALVE
GM	GAS METER
G	GAS SVC LINE/MAIN
W	WATER SVC LINE/MAIN
GI	GRATE INLET
SS	SANITARY SEWER LINE/MAIN
SSMH	SANITARY SEWER MANHOLE
C/O	CLEANOUT
FH	FIRE HYDRANT
MH	MANHOLE
GPC	GEORGIA POWER COMPANY
ELEC	ELECTRIC
DI	DROP INLET
EP	EDGE OF PAVEMENT
CONC	CONCRETE
TRANS	TRANSFORMER
UGP	UNDERGROUND POWER
UGT	UNDERGROUND TELEPHONE
TELE	TELEPHONE
B.S.L	BUILDING SETBACK LINE
N.T.S	NOT TO SCALE
P/L	PROPERTY LINE
S/W	SIDEWALK
(XXX.XX)	DEEDED DISTANCES
XX	BUILDING STREET ADDRESS (NUMBER)



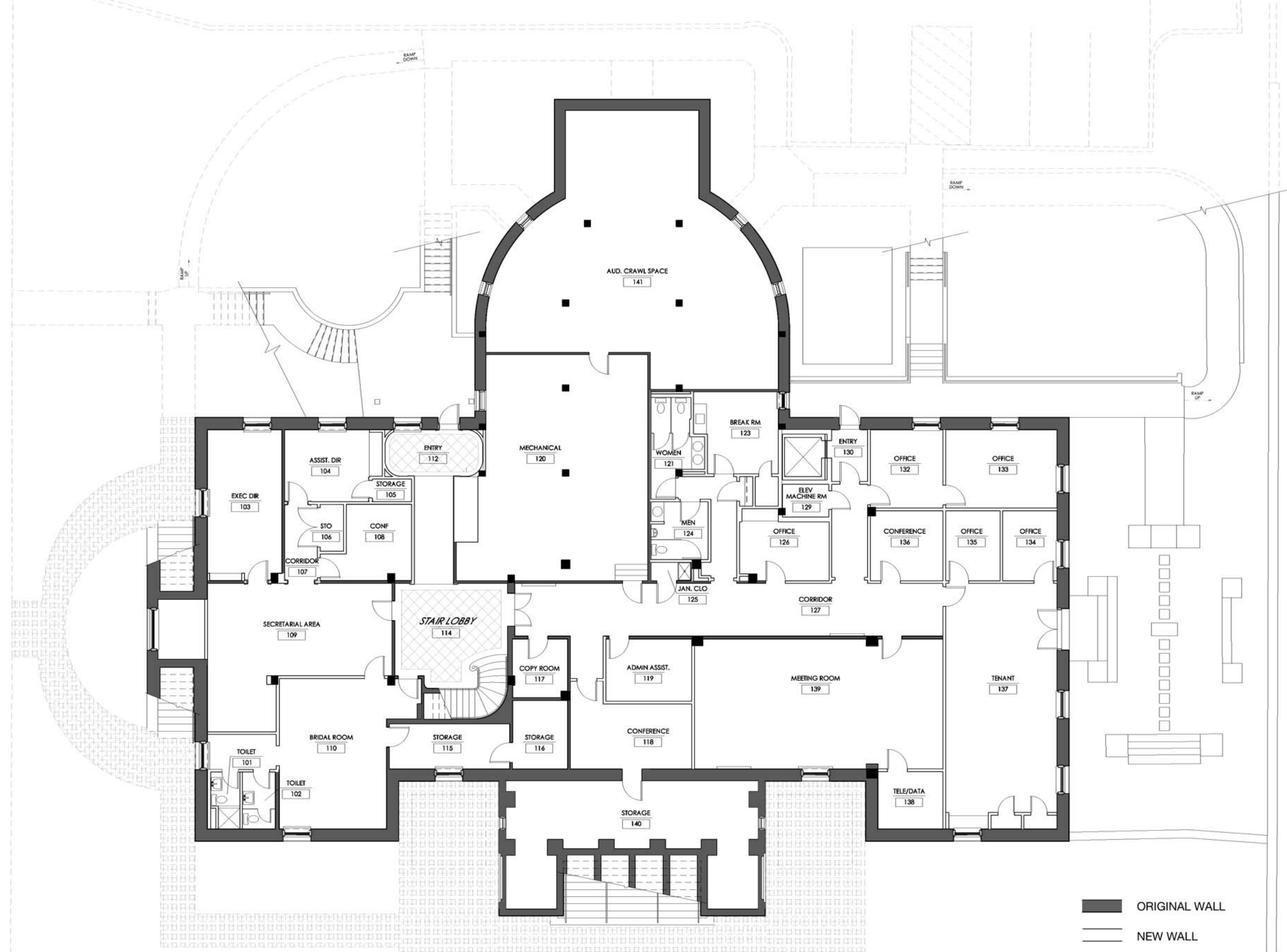
TRACT 1: 0.961 ACRES (41,848 SQ FT)
TRACT 2: 0.804 ACRES (35,016 SQ FT)
TOTAL AREA: 1.765 ACRES (76,864 SQ FT)

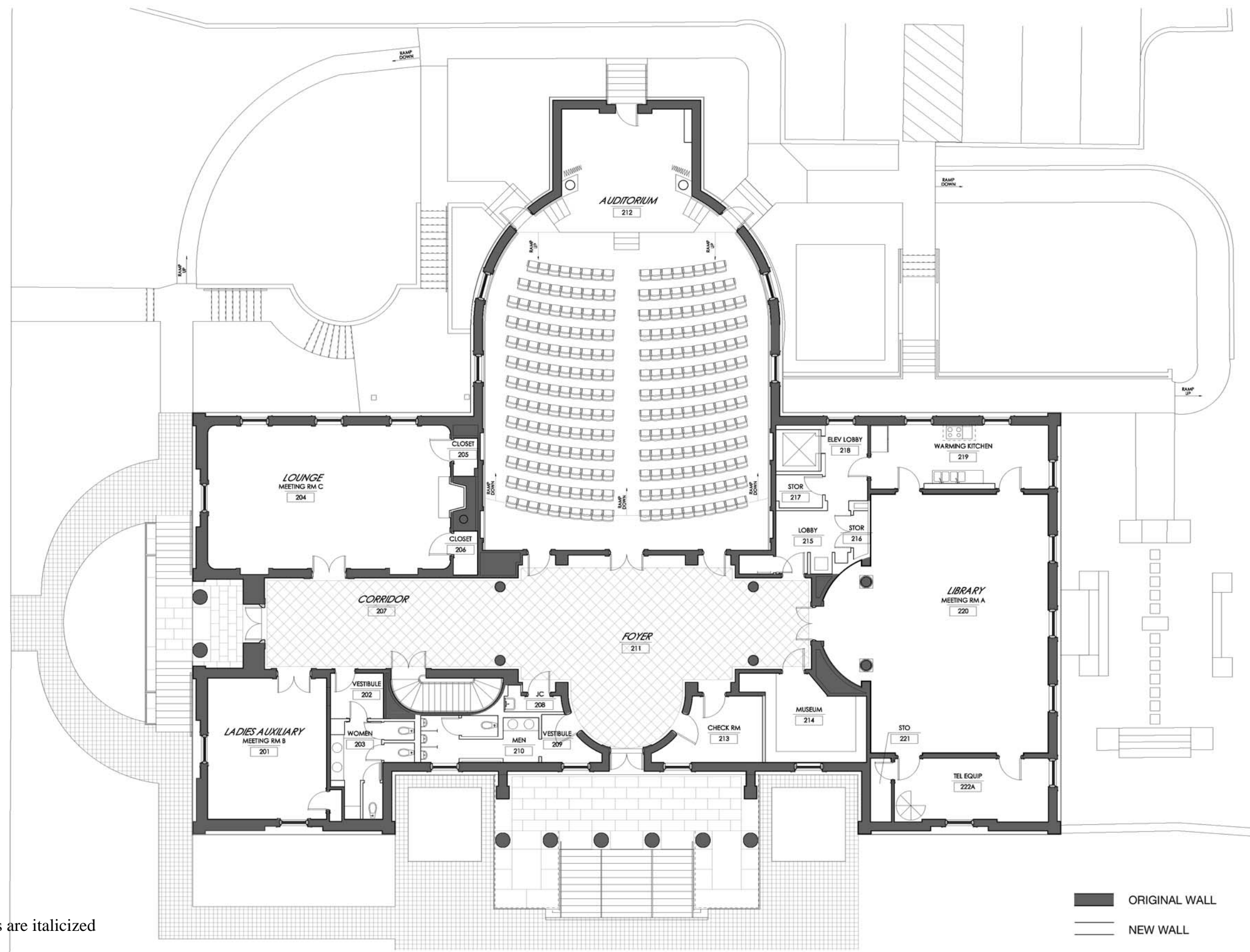


(R-1)
THERE IS NO DIRECT STREET ACCESS TO TRACT 1, ACCESS EASEMENTS SHOWN ON SURVEY SERVE TRACT 1. TRACT 2 HAS ACCESS TO 7TH STREET AND CYPRESS ST AS SHOWN ON SURVEY.

NOTE: FOR ADDITIONAL NOTES AND INFORMATION, SEE FULL SURVEY PROVIDED BY METRO ENGINEERING AND SURVEYING CO., INC. (R-1) 7-22-08

	ACADEMY OF MEDICINE - CONDITION ASSESSMENT 875 WEST PEACHTREE STREET NE ATLANTA, GEORGIA 30309	TITLE SURVEY / SITE PLAN	
		DATE 11.21.08	SHEET NUMBER 2





*Historic room names are italicized

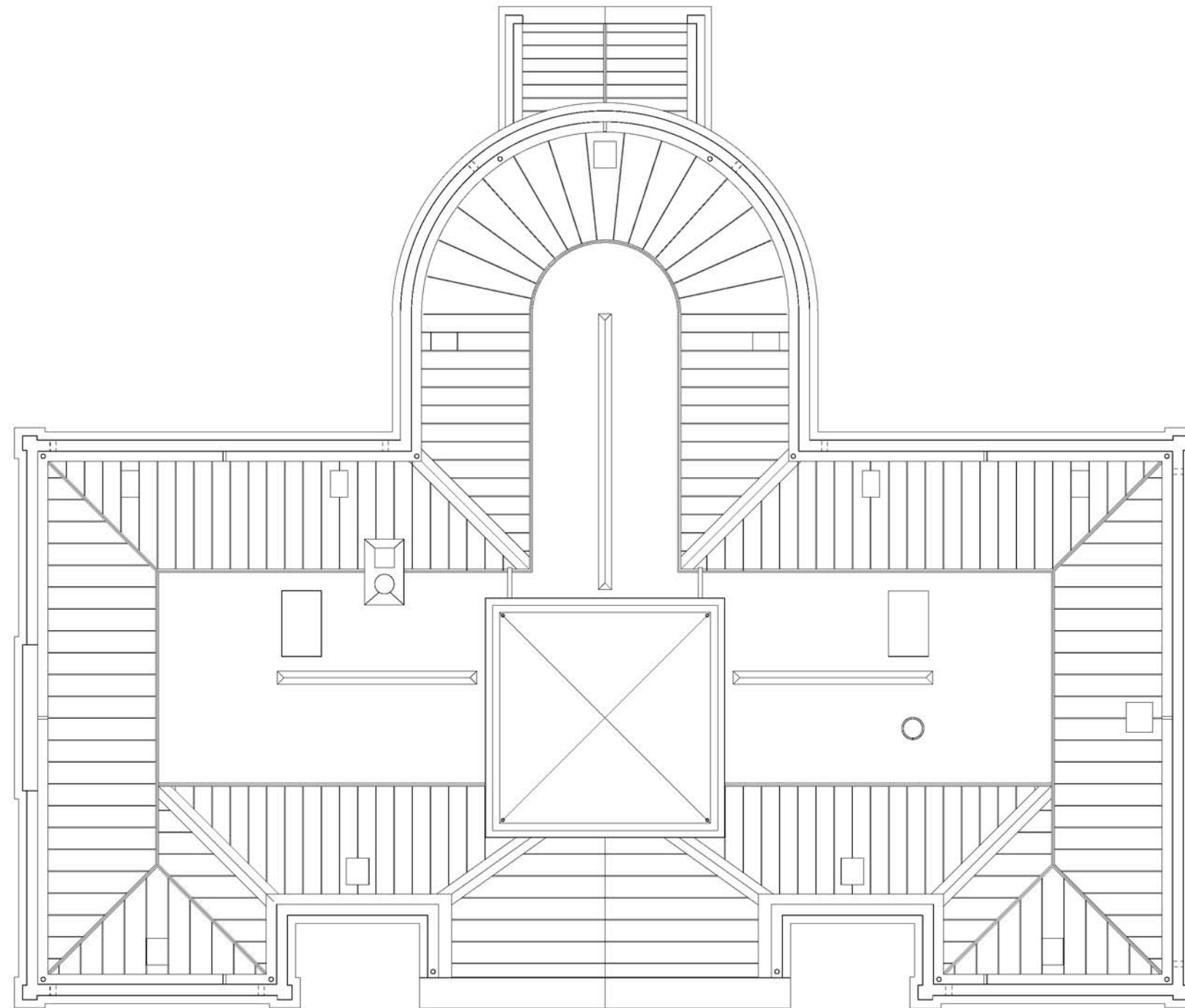
ORIGINAL WALL
 NEW WALL





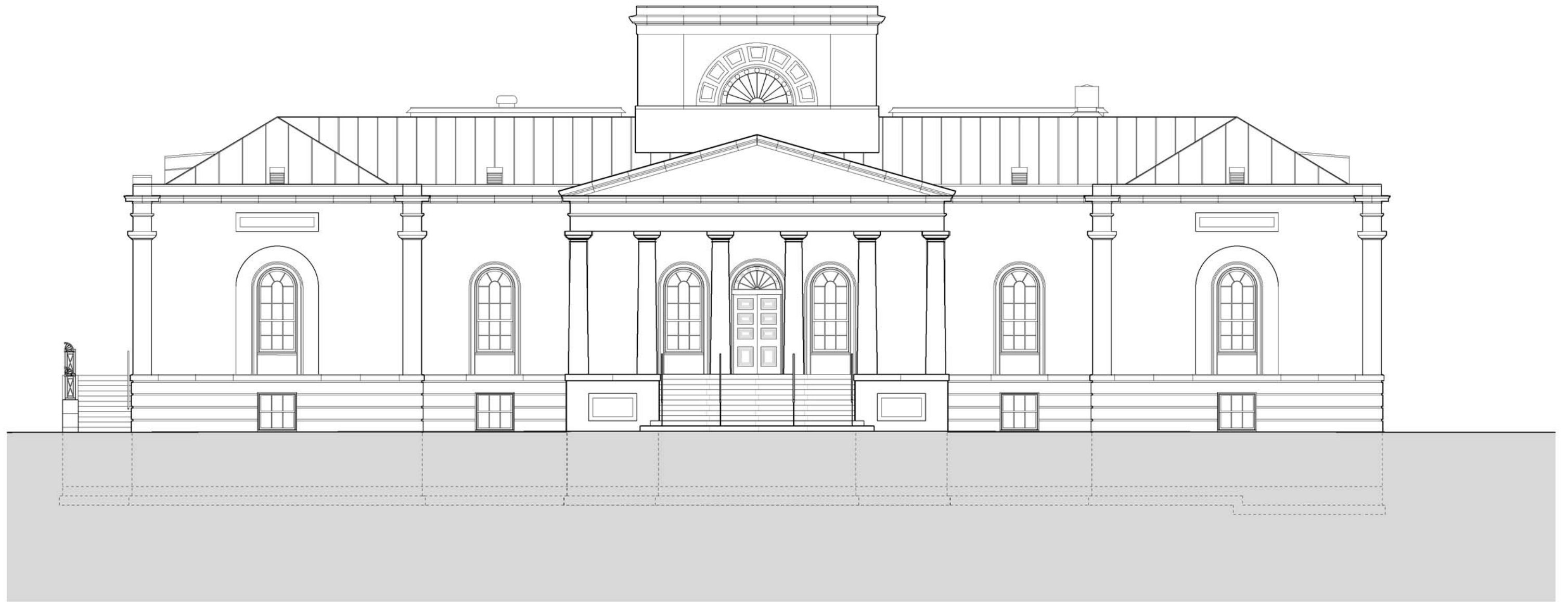
		ACADEMY OF MEDICINE - CONDITION ASSESSMENT		TITLE	
		875 WEST PEACHTREE STREET NE ATLANTA, GEORGIA 30309		EXISTING UPPER LEVEL PLAN	
		DATE	SHEET NUMBER		
		11.21.08	4		



REVISED 01.07.09

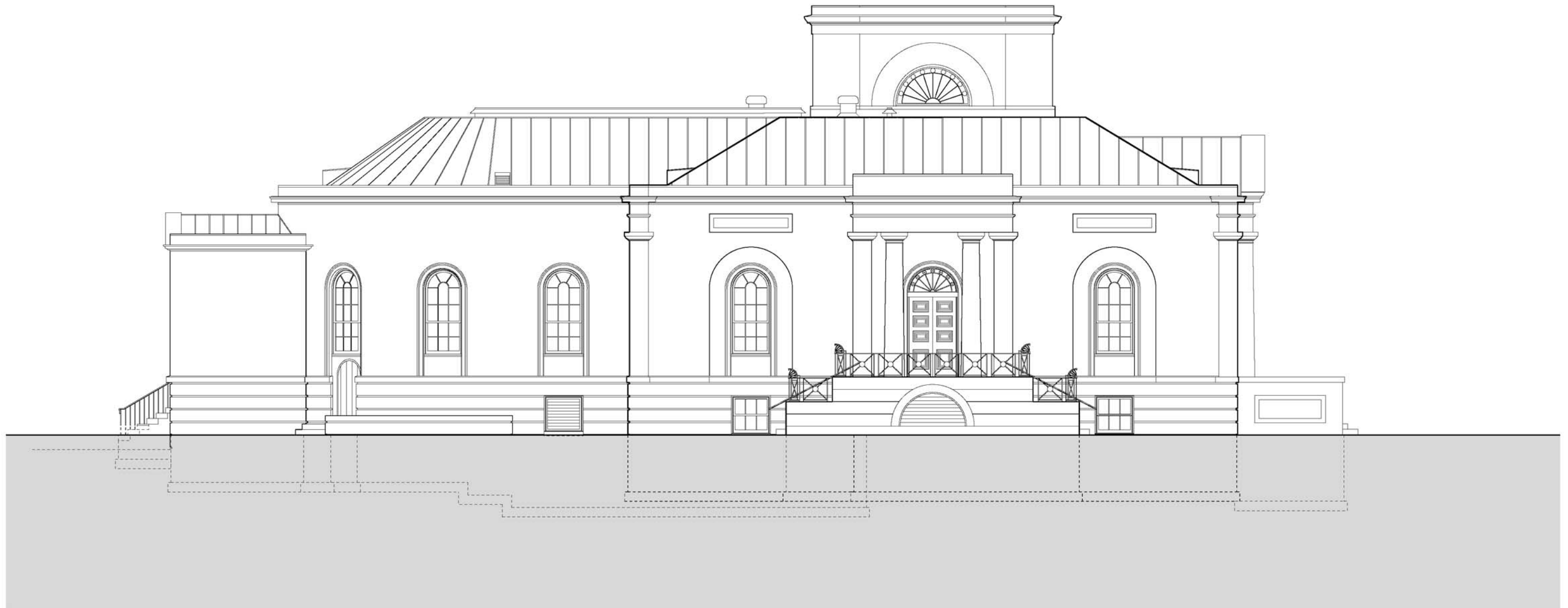
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 	ACADEMY OF MEDICINE - CONDITION ASSESSMENT 875 WEST PEACHTREE STREET NE ATLANTA, GEORGIA 30309	TITLE	
		EXISTING ROOF PLAN	SHEET NUMBER
		DATE	5
		11.21.08	





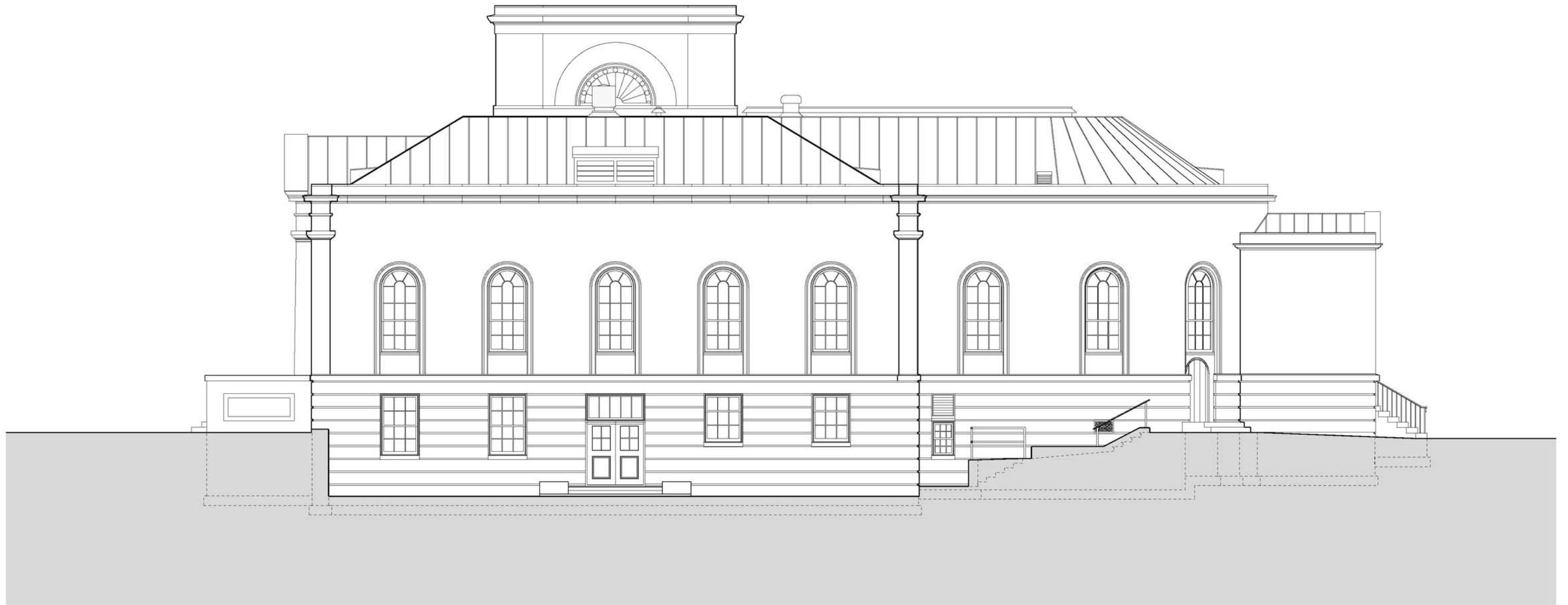
 	ACADEMY OF MEDICINE - CONDITION ASSESSMENT 875 WEST PEACHTREE STREET NE ATLANTA, GEORGIA 30309	TITLE	
		EXISTING WEST ELEVATION	
		DATE	SHEET NUMBER
		11.21.08	6





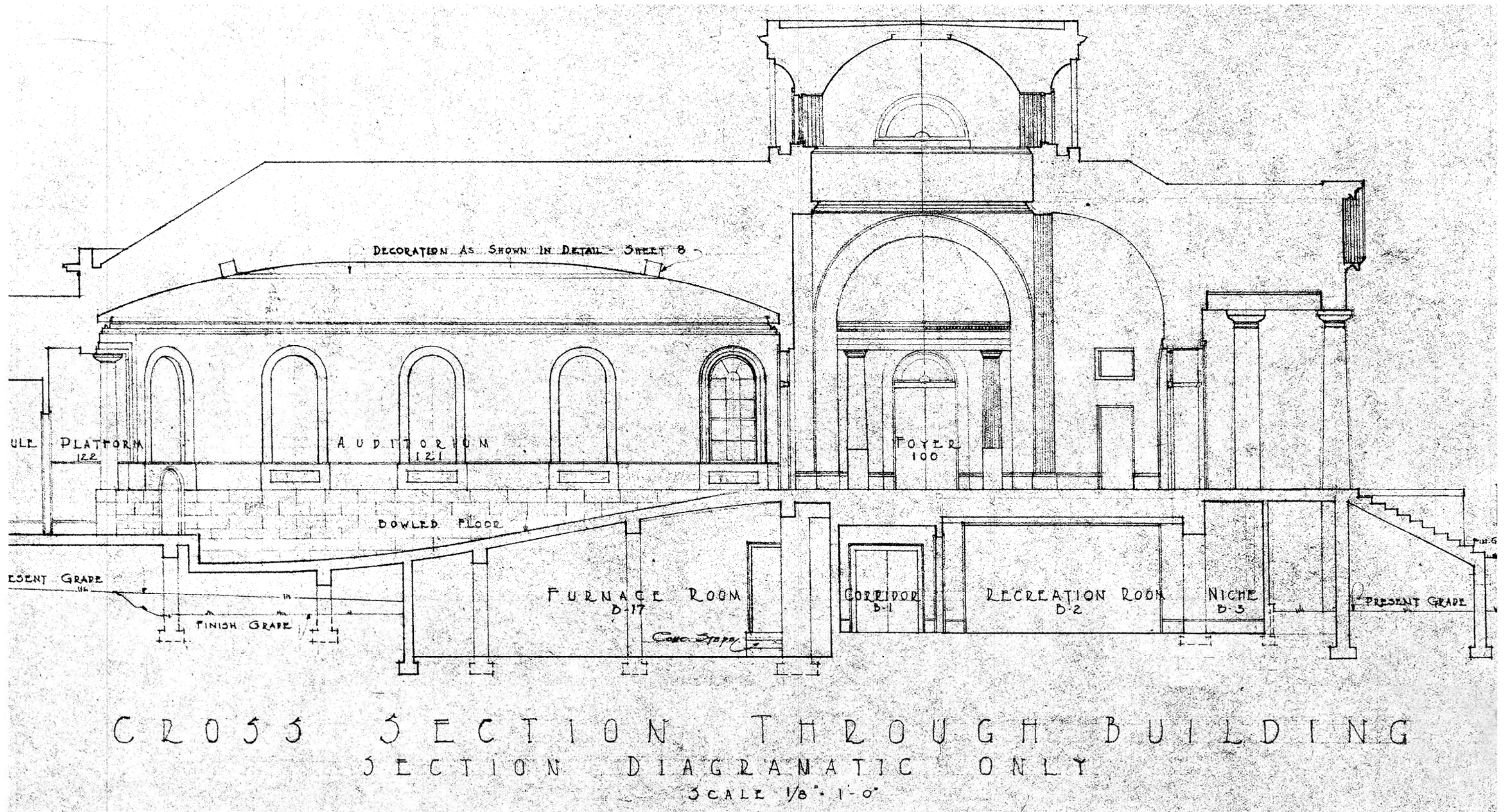
 	ACADEMY OF MEDICINE - CONDITION ASSESSMENT 875 WEST PEACHTREE STREET NE ATLANTA, GEORGIA 30309	TITLE EXISTING NORTH ELEVATION	
		DATE 11.21.08	SHEET NUMBER 7



 	ACADEMY OF MEDICINE - CONDITION ASSESSMENT 875 WEST PEACHTREE STREET NE ATLANTA, GEORGIA 30309	TITLE	
		EXISTING EAST ELEVATION	
		DATE	SHEET NUMBER
		11.21.08	8



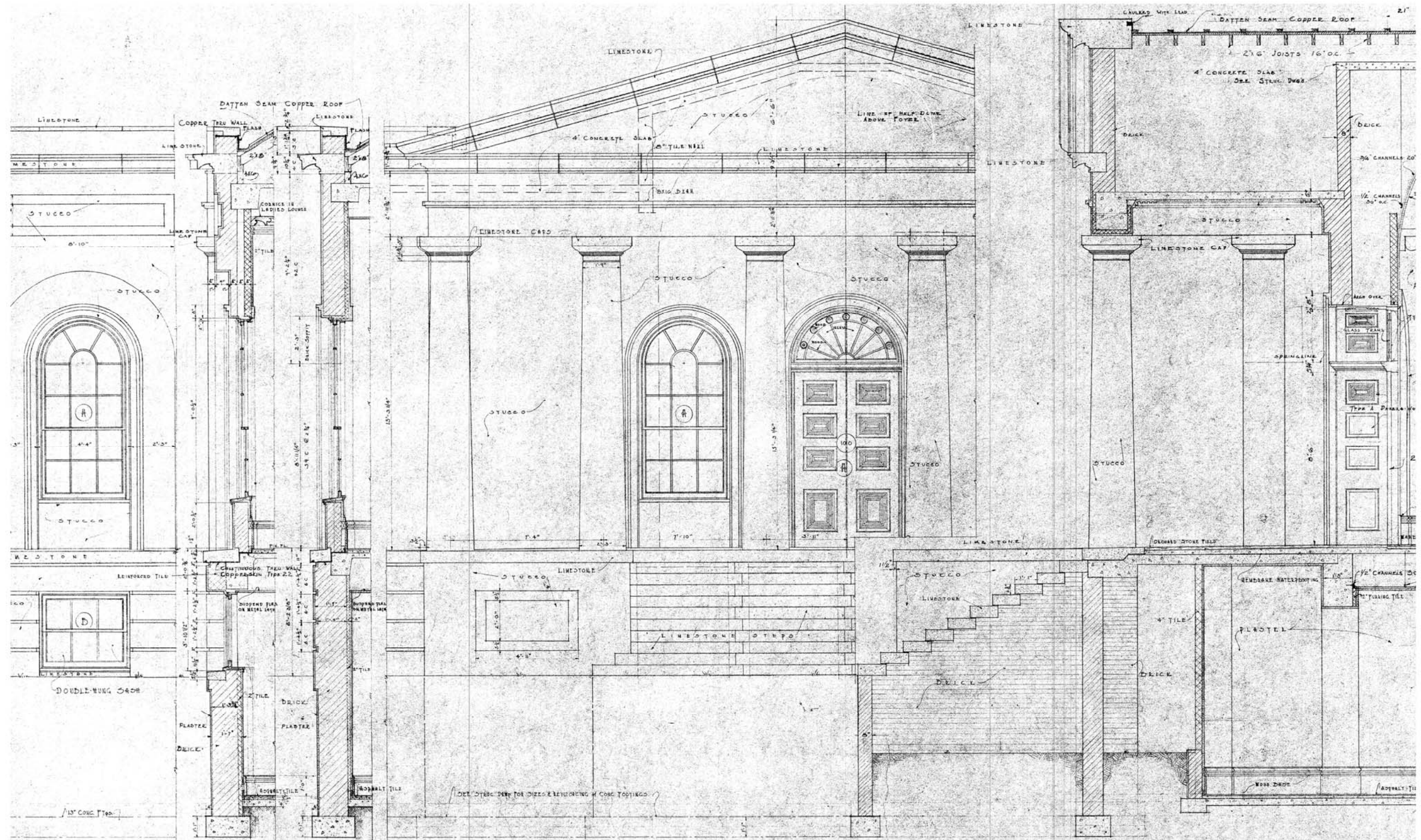
 	ACADEMY OF MEDICINE - CONDITION ASSESSMENT 875 WEST PEACHTREE STREET NE ATLANTA, GEORGIA 30309	TITLE EXISTING SOUTH ELEVATION	
		DATE 11.21.08	SHEET NUMBER 9



R Kennon Perry, Architect
 Hentz-Adler & Shutze, Consulting Architects
 21 May 1941



 	ACADEMY OF MEDICINE - CONDITION ASSESSMENT 875 WEST PEACHTREE STREET NE ATLANTA, GEORGIA 30309		TITLE HISTORIC BUILDING SECTION	
			DATE 11.21.08	SHEET NUMBER 10



1 ELEVATION

2 SECTION (TYPICAL)

4. DETAIL OF FRONT ENTRANCE
WEST ELEVATION

5 SECTION OF FRONT ENTRANCE

R Kennon Perry, Architect
Hentz-Adler & Shutze, Consulting Architects
21 May 1941



ACADEMY OF MEDICINE - CONDITION ASSESSMENT

875 WEST PEACHTREE STREET NE
ATLANTA, GEORGIA 30309

TITLE

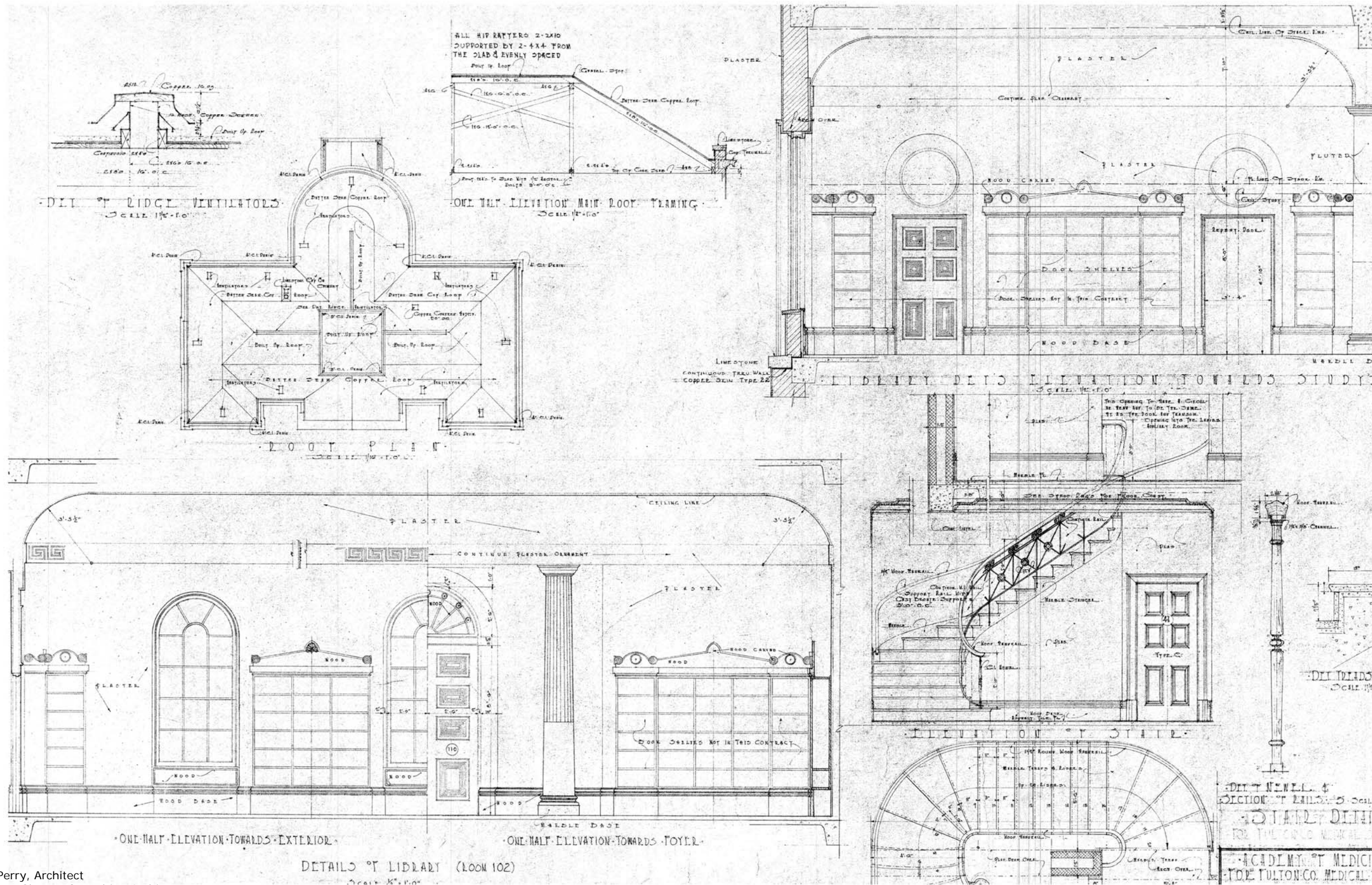
HISTORIC WALL SECTIONS

DATE

11.21.08

SHEET NUMBER

11



R Kennon Perry, Architect
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 21 May 1941

DETAILS OF LIBRARY (ROOM 102)
 SCALE 1/4" = 1'-0"



ACADEMY OF MEDICINE - CONDITION ASSESSMENT

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TITLE

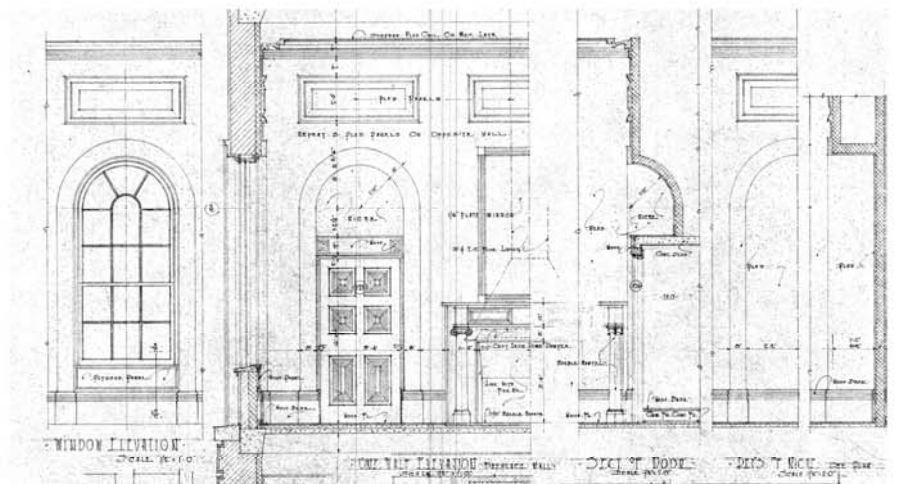
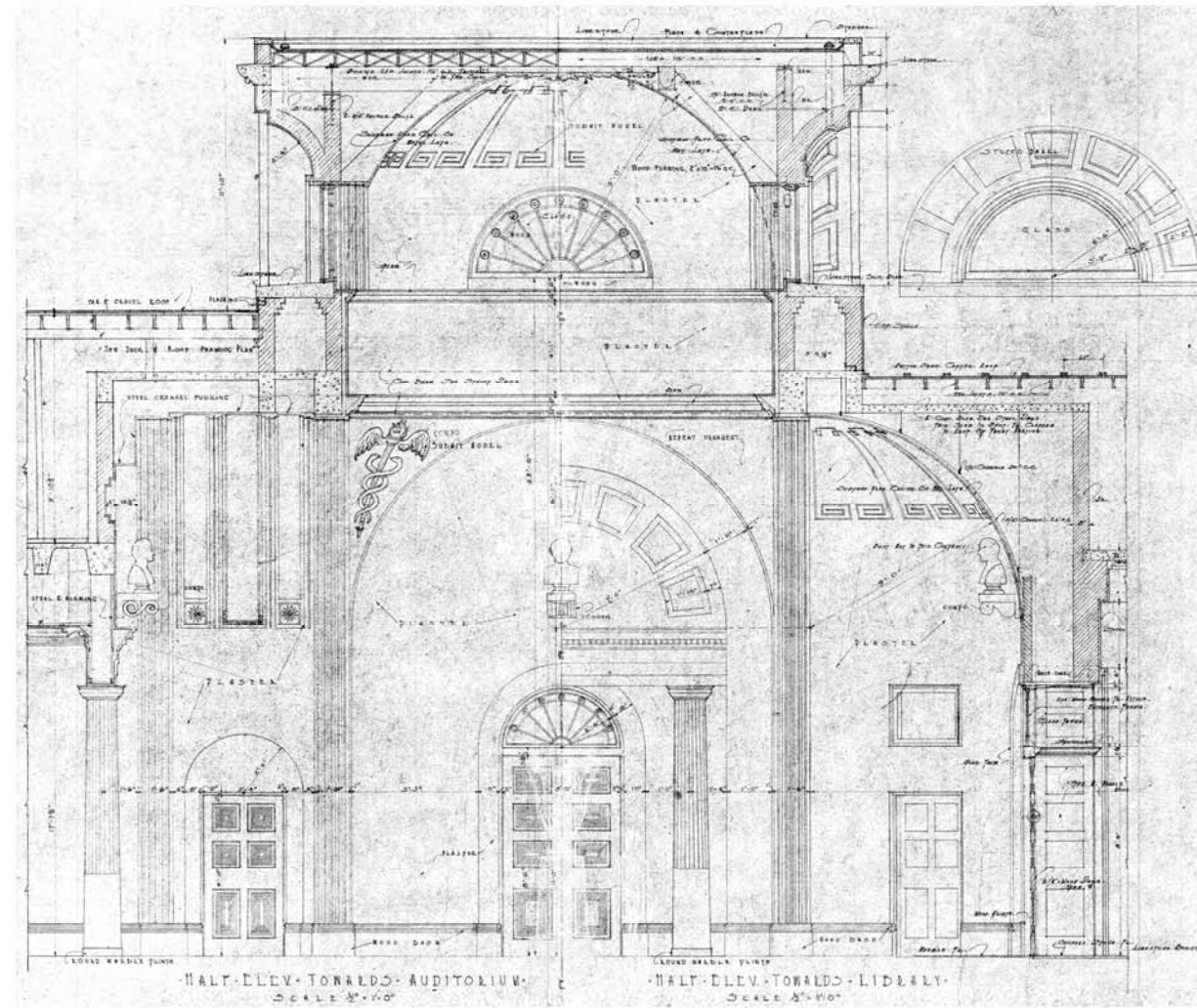
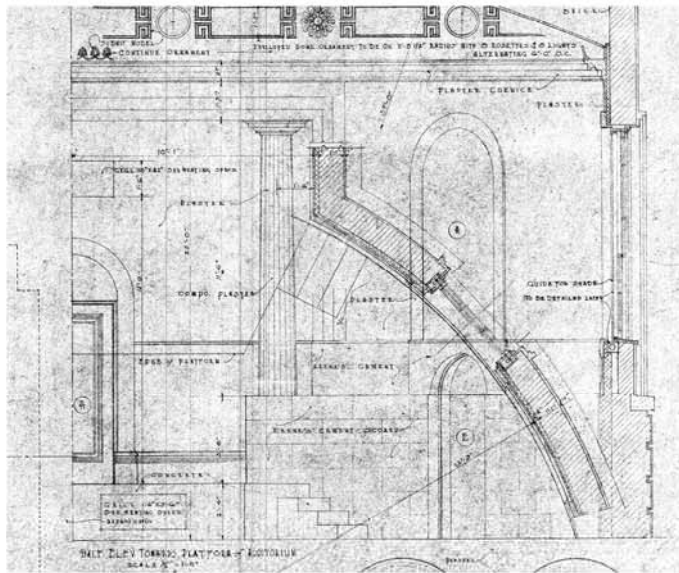
HISTORIC INTERIOR ELEVATIONS

DATE

11.21.08



SHEET NUMBER

12



R Kennon Perry, Architect
 Hentz-Adler & Shutze, Consulting Architects
 21 May 1941



 	ACADEMY OF MEDICINE - CONDITION ASSESSMENT 875 WEST PEACHTREE STREET NE ATLANTA, GEORGIA 30309		TITLE HISTORIC INTERIOR ELEVATIONS	
			DATE 11.21.08	SHEET NUMBER 13

Historic Background

The Academy of Medicine houses the oldest medical society in Atlanta, the Medical Association of Atlanta, and represents the prominence of the medical profession in the city as well as the determination of the society to provide the best medical services and facilities available. The building itself is an excellent example of Neo-Classical architecture. Architect R. Kennon Perry (1890-1954), with the architectural firm of Hentz, Adler, and Shutze, supervised the project, but the design is attributed to one of the firm's partners, Philip T. Shutze. The Academy of Medicine was one of the few non-residential projects of Shutze's career, who was a well-known Atlanta architect responsible for homes such as Swan House.

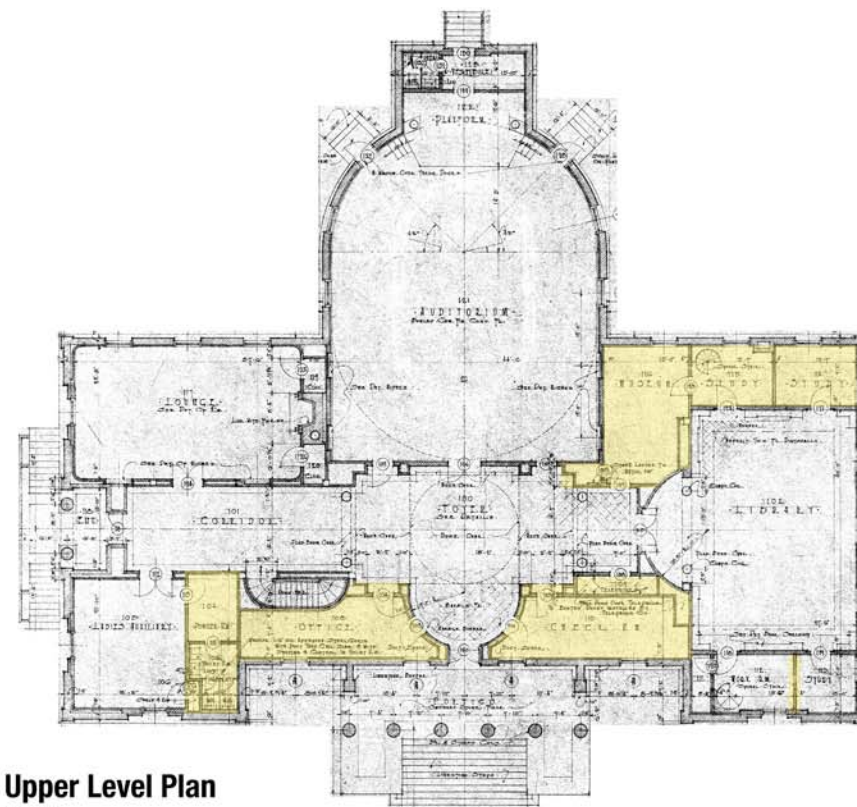
Organized medicine developed in Fulton County in 1854 with the establishment of the Atlanta Medical College and the Brotherhood of Physicians, soon after known as the Atlanta Medical Society. Meetings of the society were suspended during the Civil War, but resumed after 1865, though the society's name changed with several reorganizations over the years. Prior to construction of the Academy of Medicine building in 1941, the medical society held its meetings in various locations. As a central meeting place for the medical society, members used their new home to share ideas and discuss medical techniques and theories. The Academy of Medicine also served as a training center for interns and society members.

Over the past two decades, an emphasis on specialization within the medical profession, and increased access to medical information through hospital libraries and conferences, reduced the demand for use of the building. By the late 1970s, it was in disuse and disrepair. In 1981 the medical society leased the property to Atlanta Medical Heritage, Inc., a non-profit corporation responsible for raising funds and supervising a planned restoration of the building. The restoration, completed in 1983, adapted the building for the leasing of meeting and office space, as well as use of the auditoriums. (Article above from <http://www.nps.gov/>)

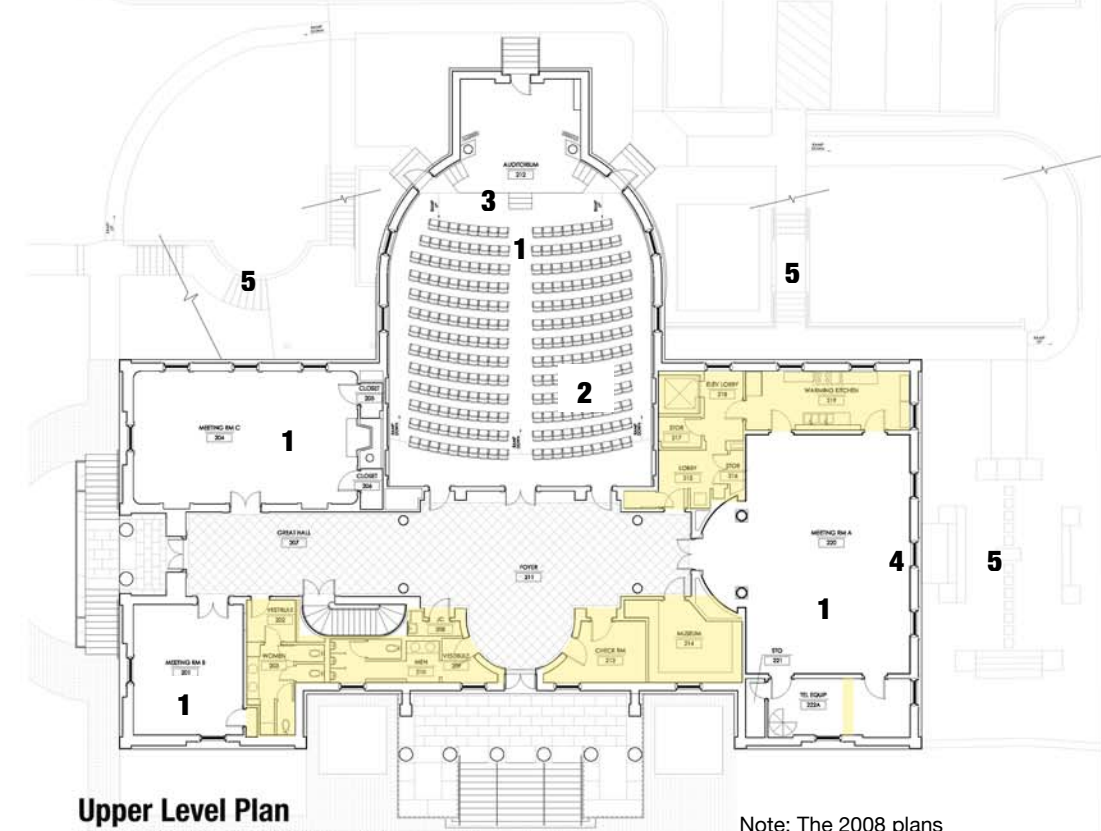
Floor Plan General Note: New work completed in 1981-1983 (shown on 2008 floor plans) attempts to seamlessly match original work. This approach has created a “false sense of historical development” which contradicts the Department of Interior’s “Standards for the Treatment of Historic Buildings”.

Floor Plan Keynotes: Flooring not original

- 1. Flooring not original
- 2. Seats were originally wood
- 3. No center stair in original
- 4. Interior wood shutters not original
- 5. Landscape / hardscape not original

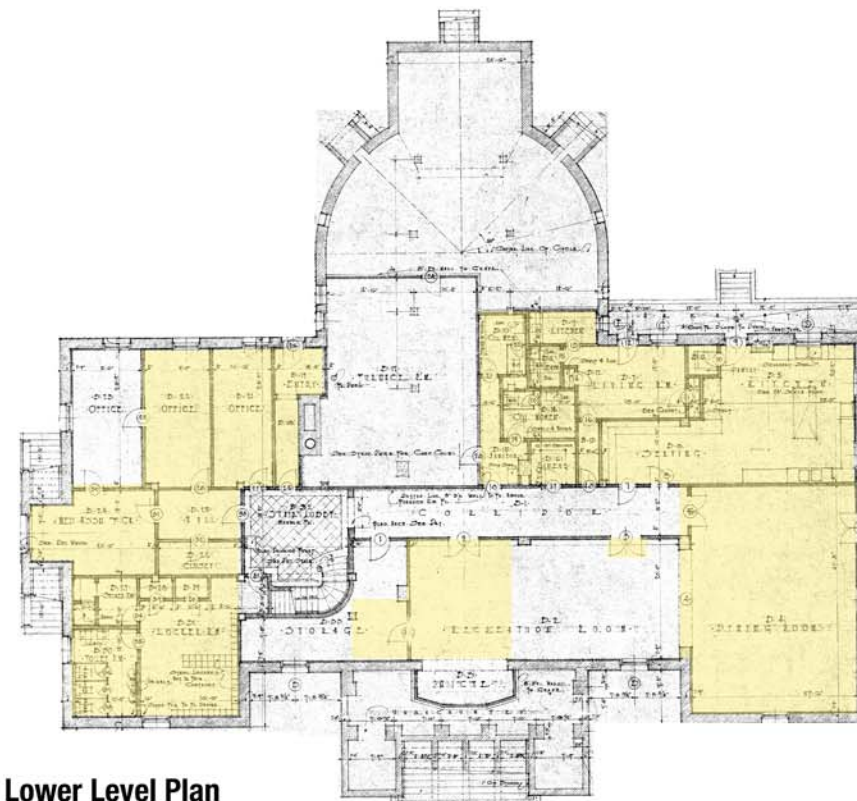


Upper Level Plan 1941

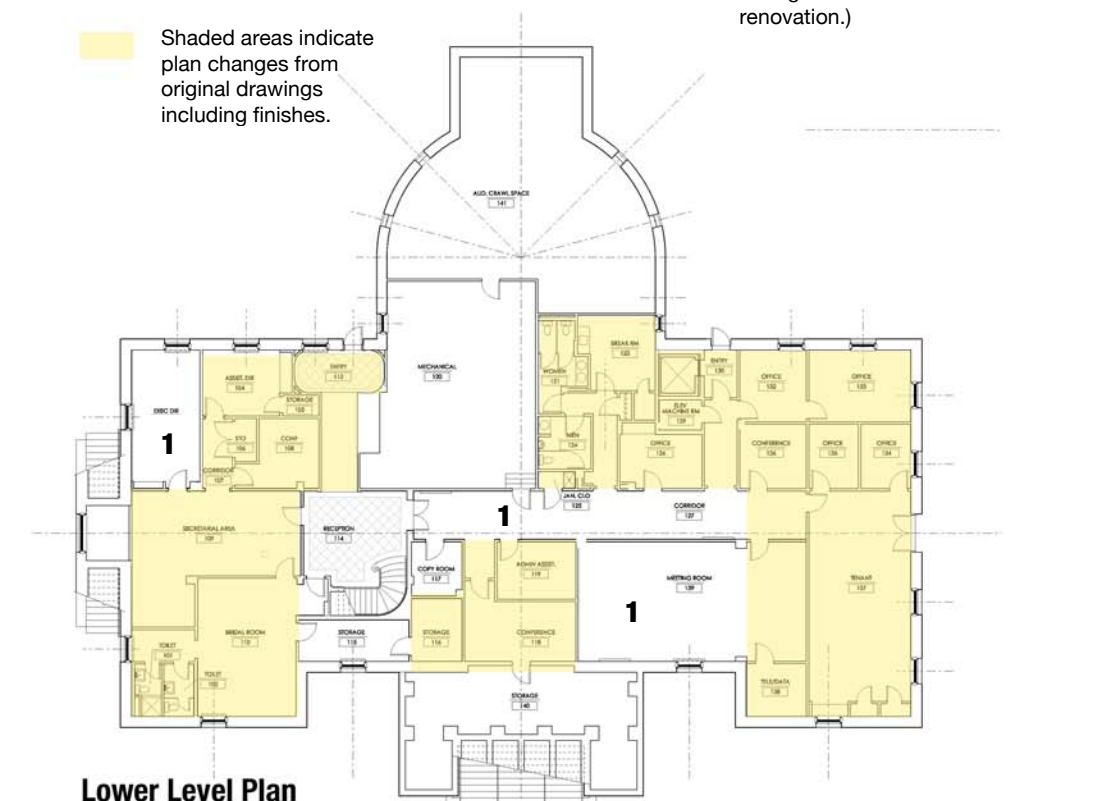


Upper Level Plan 2008 (1981-1983 Plan Changes)

Note: The 2008 plans reflect changes made during the 1981-1983 renovation.)





Lower Level Plan 1941



Lower Level Plan 2008 (1981-1983 Plan Changes)

Shaded areas indicate plan changes from original drawings including finishes.

 	ACADEMY OF MEDICINE - CONDITION ASSESSMENT 875 WEST PEACHTREE STREET NE ATLANTA, GEORGIA 30309		TITLE HISTORIC BACKGROUND & CONTEXT	
			DATE 11.21.08	SHEET NUMBER 14

HISTORIC CHARACTER PHOTO KEYNOTES

The following photos of the historic facades and primary upper floor rooms of the Academy of Medicine were taken during November of 2008 (unless otherwise noted). Each photo is keyed to a description of a feature, element, or composition of elements that contributes to the building's historic character. All original architectural features of this Neo-classical building by Philip Schutze should be preserved and carefully treated during any future renovations and/ or routine maintenance. If a historic feature is in poor condition and deteriorating beyond repair, it may be replaced with a replication, as accurate to the original design materials and craftsmanship within reason. Any alterations made during the restoration or renovation process in 1981 that vary from the original design in order to accommodate codes or program are not historic and may be altered.

Exterior Photos - Page 17

1. Photo of Academy of Medicine taken prior to 1981 renovations.
2. West Façade, Historic Feature(s): composition, materials, brick paver site design. Renovation Alteration(s): Stucco color and copper roof (typical for all facades)
3. North Façade, Historic Feature(s): composition, materials, stairs, brick paver site design, portico, ornamental metal guardrails. Renovation Alteration(s): Handrails attached to building, arched louver was originally a window.
4. East Façade, Historic Feature(s): composition and materials. Renovation Alterations: temporary ramps, courtyard design, retaining walls, stairs, sidewalks, ramps, mechanical pad, guardrails, and parking lot
5. Historic Feature(s): Square roof cupola and recessed windows in stucco
6. Historic Feature(s): Stucco Doric-style column with limestone cap, typical at West and North facades

7. Historic Feature(s): Stucco with limestone cornice at pediment with Academy of Medicine emblem in high relief. Renovation Alterations: Academy of Medicine letter signage does not show up in the original photograph of the completed building. The entablature signage first appears in a 1970's slide. The exact date of the signage addition is not known.
8. Historic Feature(s): Semi-circular fixed wood window with ornamental radial wood mullions recessed in stucco, typical at all facades; coffer design on west facade only
9. Historic Feature(s): Recessed wood paneled entrance doors on West and North facades with semi-circular wood window transom. Doors flanked by similar wood paneling design on sides and arched ceiling.
10. Historic Feature(s): Wood arched double hung windows with stucco trim recessed in stucco wall plane at west and north facades only.

Exterior Photos - Page 18

11. Historic Feature(s): Glass and wood paneled doors at South façade, set in rusticated stucco at lower level appear to be original construction and match the original construction documents. Renovation Alteration(s): floor lights added
12. Historic Feature(s): Wood paneled door to Auditorium stage with stucco trim recessed in stucco arch; metal handrails, limestone steps. Renovation Alteration(s): concrete side walk poured to align with second riser height and landscaping.
13. Historic Feature(s): Typical arched window (similar to #10 except without the recess in stucco) over wood doors to Auditorium. Wood door design is a variance from the paneled door shown on the Schutze construction documents but appear original. Renovation Alteration(s): Planter retaining wall and temporary wood ramps
14. Historic Feature(s): Typical wood double hung window set in rusticated base at lower level with limestone sill

15. Historic Feature(s): Entrance doors at South façade, set in rusticated stucco at lower level with limestone steps.
16. Historic Feature(s): Metal handrail at East Entry to Auditorium stage.
17. Historic Feature(s): Metal ornamental guardrail at North façade. Renovation Alteration(s): Handrails attached to building
18. Historic Feature(s): Simple rectangle double recess in stucco at platforms flanking monumental stairs at main (west) façade with limestone cap. Renovation Alterations: metal handrails not shown on original construction documents.

Interior Photos - Page 19

1. Foyer, Historic Feature(s): symmetrical floor plan, elevations, and wall section, plaster walls and ceilings, wood trim, plaster moldings and ornamental detailing, black and white marble flooring design. Renovation Alteration(s): Color scheme
2. Same as above (photo 2 shows symmetry comparison to photo 1)
3. Historic Feature(s): Typical wood paneled door with semi-circular glass transom
4. Lower Level Stair Lobby, Historic Feature(s): Monumental marble stair with ornamental metal railing and wood handrails. Black and white marble flooring, wood paneled doors as shown in original drawings. Renovation Alteration(s): Carpet runner, light fixtures, door to corridor. Note: Ornamental metal doors at upper level to stair entry not shown on original drawings.
5. Historic Feature(s): Decorative entablature supported by fluted columns, plaster work

 	ACADEMY OF MEDICINE - CONDITION ASSESSMENT 875 WEST PEACHTREE STREET NE ATLANTA, GEORGIA 30309	TITLE HISTORIC CHARACTER- PHOTO KEYNOTES	
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- 6. Historic Feature(s): Dome over Entrance foyer and all plaster molding design details. Renovation Alteration(s): Color scheme
- 7. Same notes as photo 6, close up of emblem relief in plaster.
- 8. Same notes as photo 4, detail of ornamental metal railing, newel post, and wood handrails. Renovation Alteration(s): colors

Interior Photos - Page 20

- 9. Ladies Auxiliary (Meeting room B), Historic Feature(s): composition of floor plan and elevations. Plaster walls and ceilings, arched wood windows, wood doors, wood trim, and plaster moldings. Renovation Alterations: carpet, wall covering, paint colors, and shutters.
- 10. Same notes as photo 9
- 11. Lounge (Meeting Room C), Historic Feature(s): composition, floor plan and elevations. Arched wood windows, niches, fireplace, wood doors, trim, moldings, plaster walls and ceilings. Renovation Alterations: carpet, paint colors, grilles above closet doors, shutters, ceiling grilles, bookcases (relocated from original library)
- 12. Library (Meeting Room A), Historic Feature(s): composition, floor plan and elevations. Fluted column with marble base, arched wood windows, plaster spherical niches above wood doors, moldings, wood trim, plaster ornamental crown, and wood bookshelves. Renovation Alterations: black floor tiles, paint colors, fabric panels, wall covering, and relocation of multiple bookshelves to Lounge.
- 13. Library (Meeting Room A), Historic Feature(s): fluted columns flanking door to foyer
- 14. Same notes as photo 11

- 15. Same notes as photo 11, detail of wood paneled door and niche above
- 16. Same notes as photo 12, except bookcase in-between doors is original (color is not) Multiple bookcases relocated to Lounge.
- 17. Same notes as photo 12, detail of window transom at door to foyer
- 18. Same notes as photo 11
- 19. Same notes as photo 11, detail of original fireplace

Interior Photos - Page 21

- 20. Auditorium, view of stage, Historic Feature(s): floor plan of assembly area and stage, wood doors and casings, plaster walls and domed ceiling, molding and plaster detailing, arched windows, sloped floor towards stage. Renovation Alterations: paint colors, fabric panels, fixed seating, carpet, window treatments, light fixtures, center steps at stage, and curtains
- 21. Auditorium, view of entrance from foyer, same notes as photo 20.
- 22. Auditorium, view of side wall and windows, same notes as photo 20
- 23. Historic Feature(s): Plaster crown molding at ceiling with floral motif and dentils.
- 24. Historic Feature(s): Fluted column detail at stage entablature

 	ACADEMY OF MEDICINE - CONDITION ASSESSMENT 875 WEST PEACHTREE STREET NE ATLANTA, GEORGIA 30309	TITLE HISTORIC CHARACTER- PHOTO KEYNOTES	
		DATE 11.21.08	SHEET NUMBER 16



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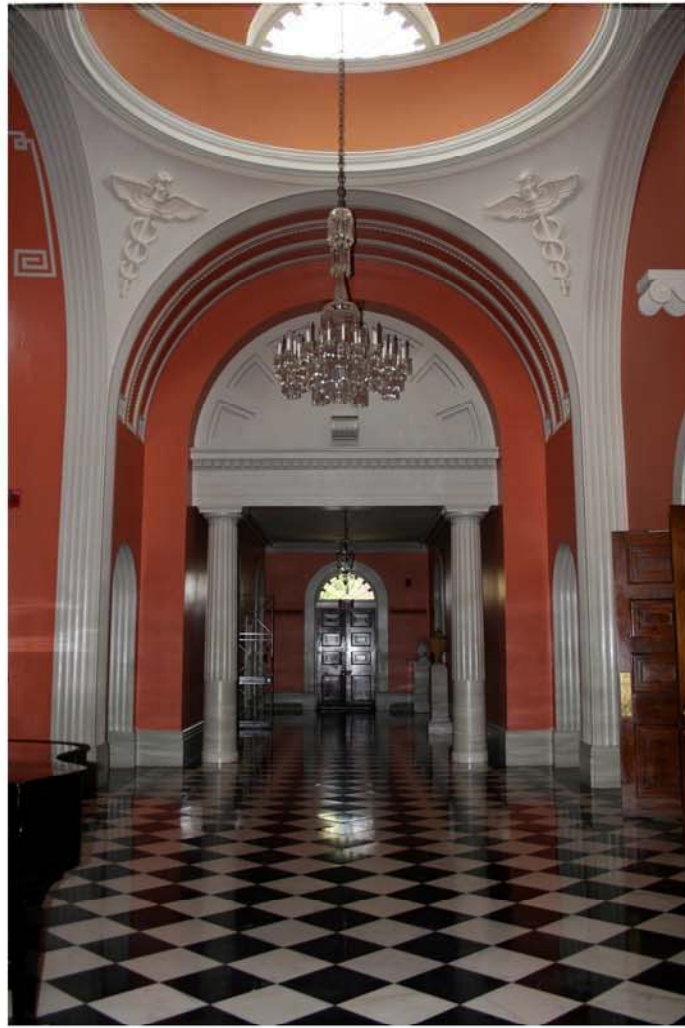
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ADA ACCESSIBILITY SUMMARY

The Academy of Medicine building is not required to be ADA compliant unless altered. If the scope of alteration is beyond cosmetic or maintenance work, then the alteration must adhere to the following general rules below:

NOTE: See sheet NFPA keynotes, Summary of Code Enforcement on page 28 regarding application of codes.

4.1.7 Accessible Buildings: Historic Preservation.

1) Applicability:

(a) General Rule. Alterations to a qualified historic building or facility shall comply with 4.1.6 Accessible Buildings: Alterations, the applicable technical specifications of 4.2 through 4.35 and the applicable special application sections 5 through 10 unless it is determined in accordance with the procedures in 4.1.7(2) that compliance with the requirements for accessible routes (exterior and interior), ramps, entrances, or toilets would threaten or destroy the historic significance of the building or facility in which case the alternative requirements in 4.1.7(3) may be used for the feature.

4.1.6 Accessible Buildings: Alterations.

(1) General. Alterations to existing buildings and facilities shall comply with the following:

(a) No alteration shall be undertaken which decreases or has the effect of decreasing accessibility or usability of a building or facility below the requirements for new construction at the time of alteration.

(b) If existing elements, spaces, or common areas are altered, then each such altered element, space, feature, or area shall comply with the applicable provisions of 4.1.1 to 4.1.3 Minimum Requirements (for New Construction). If the applicable provision for new construction requires that an element, space, or common area be on an accessible route, the altered element, space, or common area is not required to be on an accessible route except as provided in 4.1.6(2) (Alterations to an Area Containing a Primary Function.)

(c) If alterations of single elements, when considered together, amount to an alteration of a room or space in a building or facility, the entire space shall be made accessible.

(d) No alteration of an existing element, space, or area of a building or facility shall impose a requirement for greater accessibility than that which would be required for new construction. For example, if the elevators and stairs in a building are being altered and the elevators are, in turn, being made accessible, then no accessibility modifications are required to the stairs connecting levels connected by the elevator. If stair modifications to correct unsafe conditions are required by other codes, the modifications shall be done in compliance with these guidelines unless technically infeasible.

(e) -(f) NOT APPLICABLE

(g) In alterations, the requirements of 4.1.3(9), 4.3.10 and 4.3.11 do not apply.

(h)* Entrances: If a planned alteration entails alterations to an entrance, and the building has an accessible entrance, the entrance being altered is not required to comply with 4.1.3(8), except to the extent required by 4.1.6(2). If a particular entrance is not made accessible, appropriate accessible signage indicating the location of the nearest accessible entrance(s) shall be installed at or near the inaccessible entrance, such that a person with disabilities will not be required to retrace the approach route from the inaccessible entrance.

(i) If the alteration work is limited solely to the electrical, mechanical, or plumbing system, or to hazardous material abatement, or automatic sprinkler retrofitting, and does not involve the alteration of any elements or spaces required to be accessible under these guidelines, then 4.1.6(2) does not apply.

(j) EXCEPTION: In alteration work, if compliance with 4.1.6 is technically infeasible, the alteration shall provide accessibility to the maximum extent feasible. Any elements or features of the building or facility that are being altered and can be made accessible shall be made accessible within the scope of the alteration.

Technically Infeasible. Means, with respect to an alteration of a building or a facility, that it has little likelihood of being accomplished because existing structural conditions would require removing or altering a load-bearing member which is an essential part of the structural frame; or because other existing physical or site constraints prohibit modification or addition of elements, spaces, or features which are in full and strict compliance with the minimum requirements for new construction and which are necessary to provide accessibility.

(k) EXCEPTION:

(i) These guidelines do not require the installation of an elevator in an altered facility that is less than three stories or has less than 3,000 square feet per story unless the building is a shopping center, a shopping mall, the professional office of a health care provider, or another type of facility as determined by the Attorney General.

(ii) The exemption provided in paragraph (i) does not obviate or limit in any way the obligation to comply with the other accessibility requirements established in these guidelines. For example, alterations to floors above or below the ground floor must be accessible regardless of whether the altered facility has an elevator. If a facility subject to the elevator exemption set forth in paragraph (i) nonetheless has a full passenger elevator, that elevator shall meet, to the maximum extent feasible, the accessibility requirements of these guidelines.

(2) Alterations to an Area Containing a Primary Function: In addition to the requirements of 4.1.6(1), an alteration that affects or could affect the usability of or access to an area containing a primary function shall be made so as to ensure that, to the maximum extent feasible, the path of travel to the altered area and the restrooms, telephones, and drinking fountains serving the altered area, are readily accessible to and usable by individuals with disabilities, unless such alterations are disproportionate to the overall alterations in terms of cost and scope (as determined under criteria established by the Attorney General).

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<small>REVISED 01.07.09</small>			

(3) Special Technical Provisions for Alterations to Existing Buildings and Facilities:

(a) Ramps: Curb ramps and interior or exterior ramps to be constructed on sites or in existing buildings or facilities where space limitations prohibit the use of a 1:12 slope or less may have slopes and rises as follows:

(i) A slope between 1:10 and 1:12 is allowed for a maximum rise of 6 inches.

(ii) A slope between 1:8 and 1:10 is allowed for a maximum rise of 3 inches. A slope steeper than 1:8 is not allowed.

(b) Stairs: Full extension of handrails at stairs shall not be required in alterations where such extensions would be hazardous or impossible due to plan configuration.

(c) Elevators:

(i) If safety door edges are provided in existing automatic elevators, automatic door reopening devices may be omitted (see 4.10.6).

(ii) Where existing shaft configuration or technical infeasibility prohibits strict compliance with 4.10.9, the minimum car plan dimensions may be reduced by the minimum amount necessary, but in no case shall the inside car area be smaller than 48 in by 48 in.

(iii) Equivalent facilitation may be provided with an elevator car of different dimensions when usability can be demonstrated and when all other elements required to be accessible comply with the applicable provisions of 4.10. For example, an elevator of 47 in by 69 in (1195 mm by 1755 mm) with a door opening on the narrow dimension, could accommodate the standard wheelchair clearances shown in Figure 4.

(d) Doors:

(i) Where it is technically infeasible to comply with clear opening width requirements of 4.13.5, a projection of 5/8 in maximum will be permitted for the latch side stop.

(ii) If existing thresholds are 3/4 in high or less, and have (or are modified to have) a beveled edge on each side, they may remain.

(e) Toilet Rooms:

(i) Where it is technically infeasible to comply with 4.22 or 4.23, the installation of at least one unisex toilet/bathroom per floor, located in the same area as existing toilet facilities, will be permitted in lieu of modifying existing toilet facilities to be accessible. Each unisex toilet room shall contain one water closet complying with 4.16 and one lavatory complying with 4.19, and the door shall have a privacy latch.

(ii) Where it is technically infeasible to install a required standard stall (Fig. 30(a)), or where other codes prohibit reduction of the fixture count (i.e., removal of a water closet in order to create a double-wide stall), either alternate stall (Fig.30(b)) may be provided in lieu of the standard stall.

(iii) When existing toilet or bathing facilities are being altered and are not made accessible, signage complying with 4.30.1, 4.30.2, 4.30.3, 4.30.5, and 4.30.7 shall be provided indicating the location of the nearest accessible toilet or bathing facility within the facility.

(f) Assembly Areas:

(i) Where it is technically infeasible to disperse accessible seating throughout an altered assembly area, accessible seating areas may be clustered. Each accessible seating area shall have provisions for companion seating and shall be located on an accessible route that also serves as a means of emergency egress.

(ii) Where it is technically infeasible to alter all performing areas to be on an accessible route, at least one of each type of performing area shall be made accessible.

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		<small>REVISED 01.07.09</small>	

ADA KEYNOTES & RECOMMENDATIONS

1. Doors do not meet minimum pull clearance for accessibility (18" on pull side of door). See ADA rule 4.13.6* Remedy not technically feasible on upper level as it would damage historic features. Remedy is feasible on lower level and should be part of future renovation work.
2. Both double door leaves are less than the minimum width of 32 inches. See ADA rules 4.13.4 and 4.13.5. Same note as recommendation #1.
3. Restroom lacks at least one accessible toilet with adequate stall size for wheelchair maneuvering. See ADA rule 4.2.3 and 4.1.6 (3)(e). Compliance is required only if owner choose to make alterations to the space or fixture replacement. See State Fire Marshall's Office comments on page. 28.
4. Width of accessible route does not meet minimum requirement. See ADA rule 4.2.1. Same note as recommendation #3
5. Ramp exceeds maximum slope of 1:12. Remedy not technically feasible or required.
6. Ramp rise exceeds maximum vertical height of 30" without providing an intermediate landing; Ramp lacks handrails on both sides. See ADA rules 4.8.2 and 4.8.5. See Recommended Treatment Keynote 5.1 on page 33 for handrails. Providing an intermediate landing is optional and should be considered as part of a landscape master plan.
7. Stair lacks handrails on both sides. See ADA rule 4.9.4. See Recommended Treatment Keynote 5.1 on page 33.
8. Handrail does not meet extension requirements. See ADA rule 4.9.4 (b) and exception 4.1.6 (3)(b). See Recommended Treatment Keynote 5.1 on page 33.
9. Auditorium does not provide a wheelchair location in an assembly with fixed seating. See ADA rule 4.33.2-5. Remedy not technically feasible due to sloped flooring at all fixed seats.

10. No accessible route provided within the boundary of the site to an accessible building entrance. See ADA rule 4.1.2, keynotes 1 and 5. Compliance is optional and should be considered as part of a landscape master plan.

General Note: All thresholds exceed 1/2 in. height. See ADA rule 4.13.8 and exception 4.1.6 (3)(d)(i). See Recommended Treatment Keynote 8.2 on page 33.

ADA RULE REFERENCES

4.1.2 Accessible Sites and Exterior Facilities: New Construction. An accessible site shall meet the following minimum requirements: (1) At least one accessible route complying with 4.3 shall be provided within the boundary of the site from public transportation stops, accessible parking spaces, passenger loading zones if provided, and public streets or sidewalks, to an accessible building entrance.

4.2.1* Wheelchair Passage Width. The minimum clear width for single wheelchair passage shall be 32 in (815 mm) at a point and 36 in (915 mm) continuously

4.2.3* Wheelchair Turning Space. The space required for a wheelchair to make a 180-degree turn is a clear space of 60 in (1525 mm) diameter

4.8.2* Slope and Rise. The least possible slope shall be used for any ramp. The maximum slope of a ramp in new construction shall be 1:12. The maximum rise for any run shall be 30 in (760 mm)

4.8.5* Handrails. If a ramp run has a rise greater than 6 in (150 mm) or a horizontal projection greater than 72 in (1830 mm), then it shall have handrails on both sides.

4.9.4 Handrails. Stairways shall have handrails at both sides of all stairs. Handrails shall comply with 4.26 and shall have the following features:

(2) If handrails are not continuous, they shall extend at least 12 in (305 mm) beyond the top riser and at least 12 in (305 mm) plus the width of one tread beyond the bottom riser

4.13.4 Double-Leaf Doorways.

If doorways have two independently operated door leaves, then at least one leaf shall meet the specifications in 4.13.5 and 4.13.6. That leaf shall be an active leaf.

4.13.5 Clear Width. Doorways shall have a minimum clear opening of 32 in (815 mm) with the door open 90 degrees, measured between the face of the door and the opposite stop (see [Fig. 24\(a\)](#), [\(b\)](#), [\(c\)](#), and [\(d\)](#)). Openings more than 24 in (610 mm) in depth shall comply with 4.2.1 and 4.3.3 (see [Fig. 24\(e\)](#)).

4.13.6 Maneuvering Clearances at Doors.

Minimum maneuvering clearances at doors that are not automatic or power-assisted shall be as shown in [Fig. 25](#). The floor or ground area within the required clearances shall be level and clear.

4.13.8* Thresholds at Doorways. Thresholds at doorways shall not exceed 3/4 in (19 mm) in height for exterior sliding doors or 1/2 in (13 mm) for other types of doors.

4.33.2* Size of Wheelchair Locations.

Each wheelchair location shall provide minimum clear ground or floor spaces as shown in Fig. 46.

4.33.3* Placement of Wheelchair Locations.

Wheelchair areas shall be an integral part of any fixed seating plan and shall be provided so as to provide people with physical disabilities a choice of admission prices and lines of sight comparable to those for members of the general public. They shall adjoin an accessible route that also serves as a means of egress in case of emergency. At least one companion fixed seat shall be provided next to each wheelchair seating area.

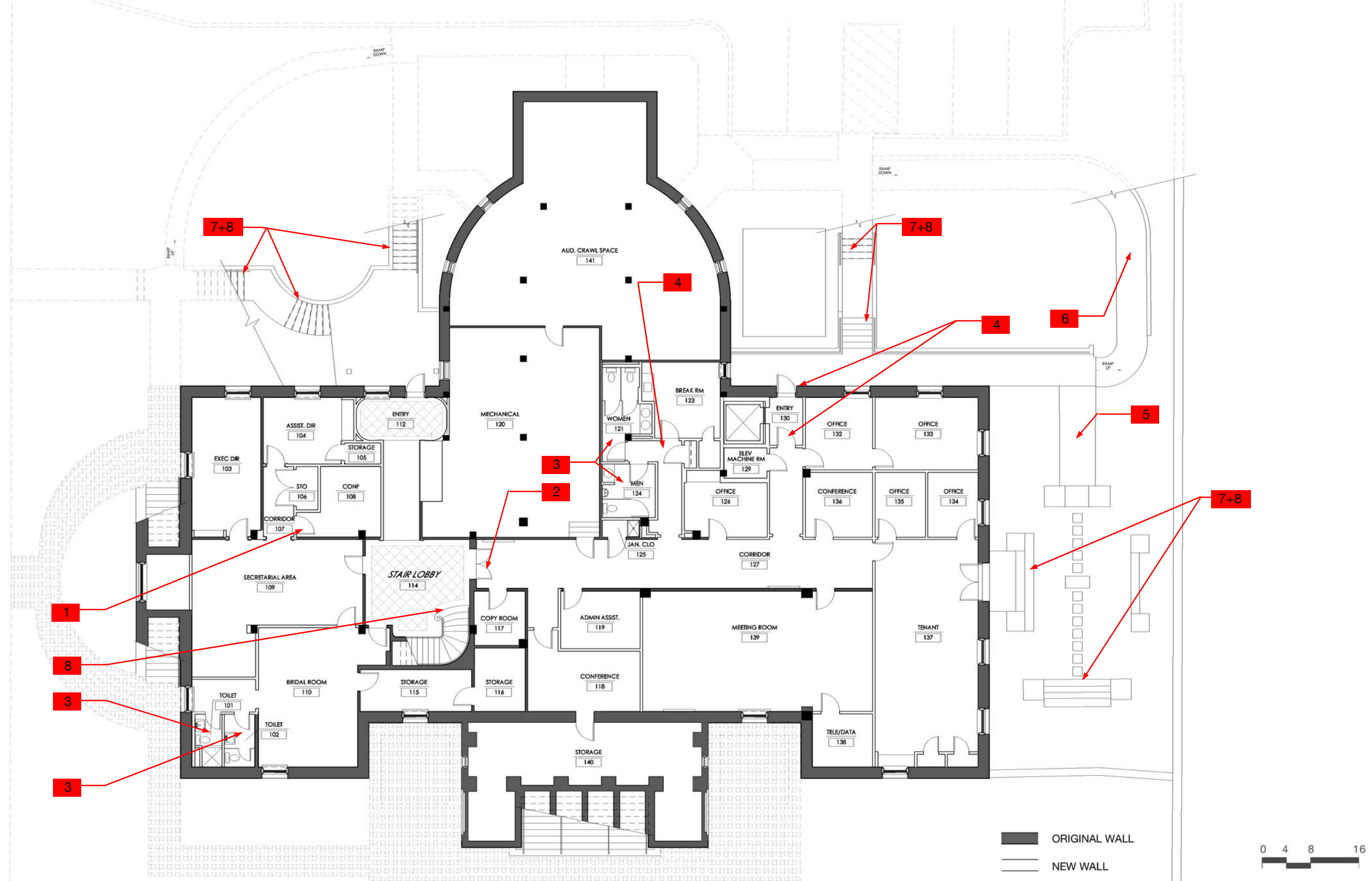
4.33.4 Surfaces.

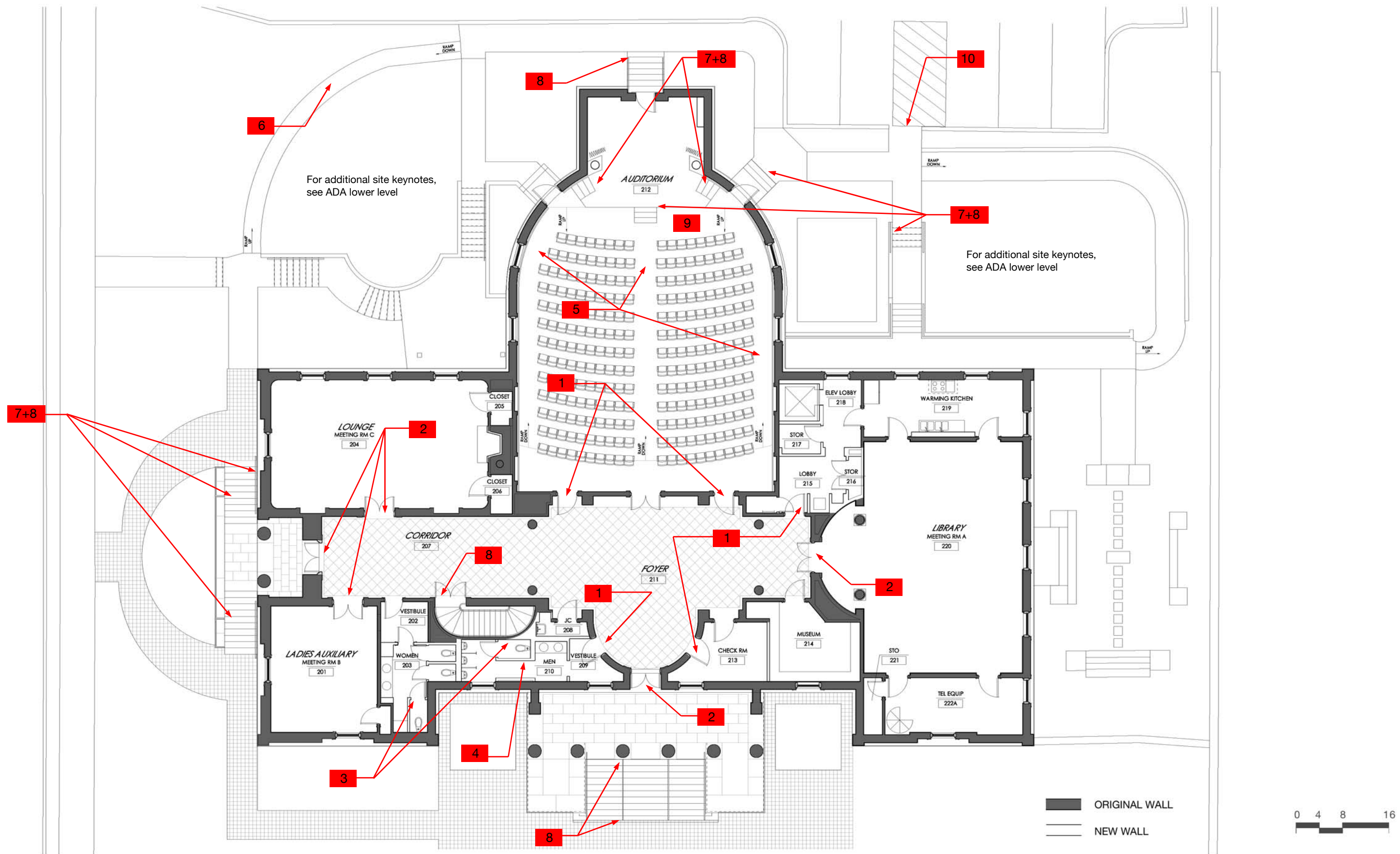
The ground or floor at wheelchair locations shall be level and shall comply with 4.5.

4.33.5 Access to Performing Areas.

An accessible route shall connect wheelchair seating locations with performing areas, including stages, arena floors, dressing rooms, locker rooms, and other spaces used by performers.

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SUMMARY OF CODE ENFORCEMENT

Ownership/Jurisdiction

The building is currently owned by the GT Foundation and falls under the jurisdiction of the City of Atlanta. If ownership is turned over to Georgia Tech, then it will fall under the jurisdiction of GFSIC. The applicable codes referenced on the front cover are currently the same for both jurisdictions. State amendments apply. The following issues pertaining to code related improvements must be considered by the owner:

Code Position of City of Atlanta

Ibrahim Maslamani (Director, Bureau of Buildings) and Mary Miller (Architectural Engineer, Bureau of Buildings) stated that the 2006 IBC, NFPA 101, and the Georgia Accessibility codes do not apply to permitting an existing building when the scope of work is limited to finishes and general repairs, and the building use is not being changed. The City makes no requirement to meet the conditions of NFPA for an existing assembly occupancy (neither NFPA 101 nor the State Amendments make an allowance for this interpretation) unless a "major renovation" is proposed. The scope of work contemplated in this document does not qualify as a "major renovation" according to the City. However, if in the future the lower level assembly occupancy is expanded, then the entire building will need to meet the requirements of the codes for a new assembly occupancy.

Position of NFPA

Ron Cote (Code advisor at NFPA) stated that existing assembly occupancies must comply with NFPA (see section 1.4.1 of code) and amendments adopted by the State, whether or not there is any renovation or repair work planned. There are no waivers and there is no grandfathering. (See ownership/ jurisdiction for enforcement).

Code Position of State Fire Marshall's Office/GFSIC

Steven Bush (Fire Safety Engineer with the State Fire Marshall's office) agrees with Ron Cote (code advisor at NFPA). The building does not need to comply with the Georgia Accessibility Code; however, any fixture change/upgrade in the rest rooms will trigger a full accessibility upgrade requirement of the bathrooms. Regarding NFPA 101, unless there is a specific exception in NFPA 101 or the State Amendments, all of the existing building must comply with NFPA101. No exceptions were found that allow complete non-compliance with NFPA 101, Chapter 13, Existing Assembly Occupancies. Georgia has a variance/waiver system through the Office of the State Fire Marshall and GFSIC. These same requirements apply to projects permitted by the City.

Recommendation

The building should be brought into full compliance with applicable codes, or in areas where the owner chooses not to fully comply; proper variances should be obtained through the State Fire Marshal's Office.


Sprinkler System and Fire Protection

The State Fire Marshall's Office uses the IBC to determine whether a building requires a sprinkler system. Section 903 requires a Group A-2/A-3 Assembly Occupancy to be sprinkled; however, *Chapter 34 Existing Structures, Section 3403 Additions, Alterations, or Repairs* as amended by the State will not require the addition of a sprinkler system unless the renovation costs exceeds 50% of the construction value of the building. A change of occupancy or an expansion of the assembly occupancy components may trigger a requirement to bring the entire building up to new codes. Moreover, 120-3-3-.04 of the State Minimum Fire Safety Standard with modifications to Chapter 1 of the IFC states that the *code* is not mandatory for historic buildings when they are judged by the fire official to be safe.

NFPA KEYNOTES

NFPA 101, 2000 Existing Assembly Occupancy, Historic Building (See Cover Sheet 0 for other applicable code information and sprinkler system deficiency)

- 1 13.7.1
Occupant Load: The authority having jurisdiction shall be permitted to establish occupancy load based on capacity of existing means of egress.
- 2 7.1.6.4
Floors shall be slip resistant. (Existing marble has a high polish finish.)
- 3 7.1.10.2
No Furniture in path of egress.
- 4 7.2.1.2.3
Exception #3 for existing buildings allows 28" clear width for doors. (Existing doors comply.)
- 5 7.2.1.3
Thresholds shall not exceed 1/2" (existing 1" thresholds).
- 6 7.2.1.5.1- 7
Doors to have releasing device, panic hardware, and no locks (Most existing doors are in violation.)
- 7 7.2.1.4.2
Occupancy greater than 50, exit doors must swing out
- 8 7.2.2.4.1
Handrails both sides of stairs, existing rails 30" to 38", 12" top extension, tread plus 12" bottom extension (most stairs in violation)
- 9 7.2.2.4.6
Guard Details: Exception (2)3 allows 30" guards at existing stairs (the code refers to guards at "existing stairs" - the guards at existing north porch are 30.5", guards at west porch do not exist, both conditions are character defining features of this Landmark Historic Building that do not appear to

 	ACADEMY OF MEDICINE - CONDITION ASSESSMENT 875 WEST PEACHTREE STREET NE ATLANTA, GEORGIA 30309	TITLE	
		SUMMARY OF CODE ENFORCEMENT / NFPA KEYNOTES	
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comply with the code exception). (3) 4" sphere shall not pass through guard rails except in case of existing approved (north porch and interior stair character defining features and do not comply) Code official approval should be sought for these violations.

- 10 7.2.5.3.1
Required ramps must be permanent (wood ramp exiting auditorium, may not be required accessible exit).
- 11 7.2.5.2
Existing Ramps allowed at 1 to 10 slope and maximum height between landings of 12 feet (Exterior ramp at SE entry complies: see also ADA section for violation)
- 12 7.2.9.2.2
Fire escape ladders 75 degree pitch max. (Ladder is vertical to attic access.)
- 13 7.2.12.2.4
If elevator is part of an accessible means of egress (allowed under 7.5.4.5), then it must have fire fighter service, protection from power outage, smoke proof shaft.
- 14 7.3.3.1
.2" per person capacity, measure w/ doors open.
- 15 7.4
Number of Means of Egress, Min 2 (unless exception), 3 for 600 to 1000 occupants (per 13.2.4.1 Exception)
- 16 7.4.1.6
Elevator lobbies have access to exit. No key.
- 17 7.5.1.3
More than one exit, exits remote and arranged so that one fire will not block path. (Current exits @ upper level do not comply.)
- 18 7.5.1.4
Arrangement of Egress: 2 exits required that must be separated by 1/2 diagonal of space measured in a straight line

unless egress path has 1 hr rating (20 minute doors), then measure along path.

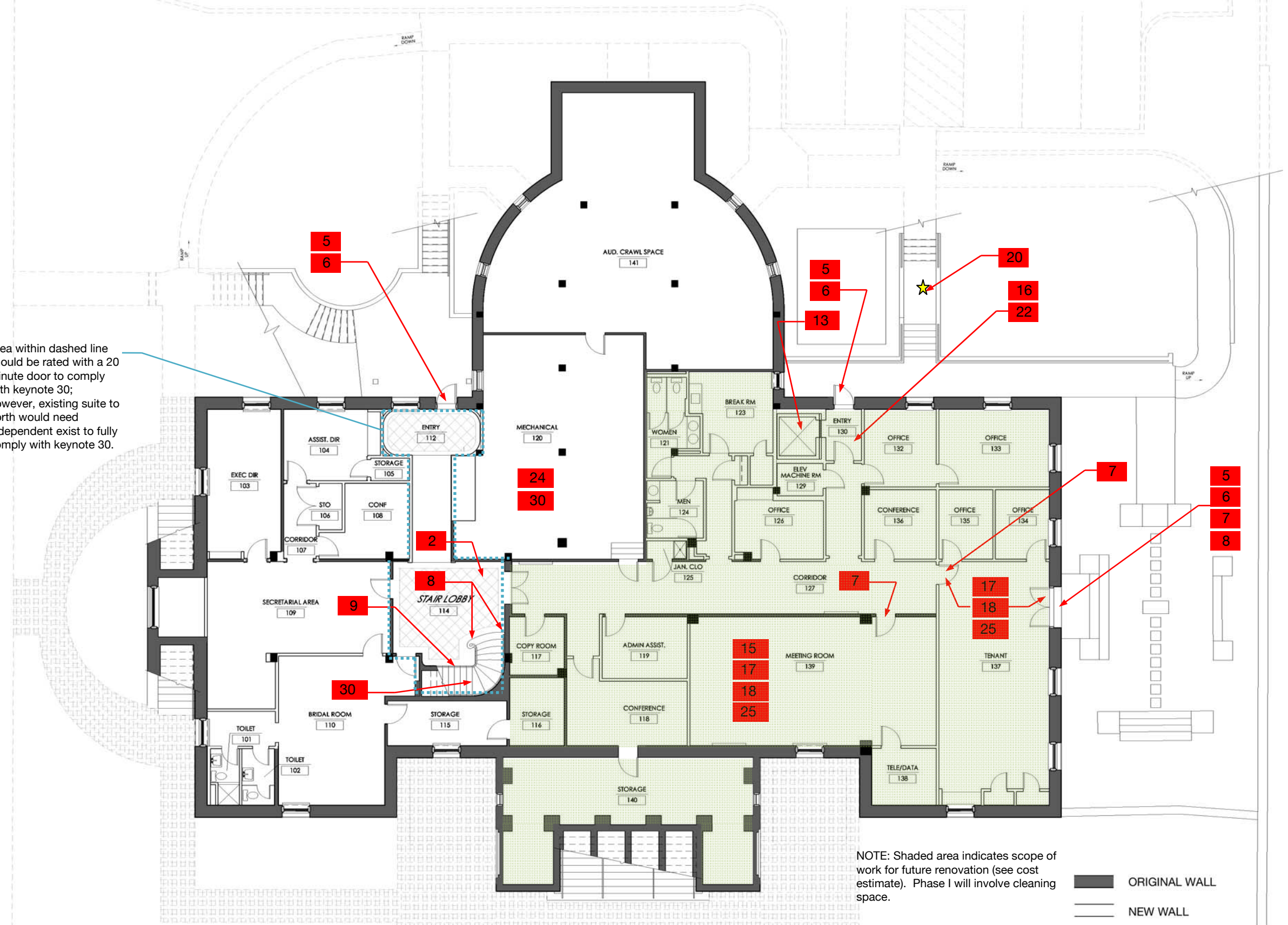
- 19 7.5.4.1
Accessible Means of Egress: one required for an existing building (options include elevator, or exit to porches on upper level, and through elevator lobby on lower level).

Section 7.2.12 requires one 30" x 48" area of refuge for every 200 occupants along accessible means of egress, area of refuge to have 1 hr enclosure, 20 min door w/ closer, area of refuge to have proper signage. Elevator lobby and elevator will need emergency power, fire fighter service and signage (per 7.10.8.2). Porches have windows within 10 feet of likely area of refuge.
- 20 7.6.5
Measurement of Travel Distance: Exterior exit w/in 10 feet of unprotected opening. Travel distance must be measured to ground level.
- 21 7.7.2
Discharge from exits. Maximum of 50% through area on level of discharge. Level of discharge separated from areas below. (Existing building has 100% through foyer/area; foyer/area is open to lower level.)
- 22 7.10.8.2
Elevator egress signage is required if used as accessible means of egress.
- 23 7.12.1 and 2
Mechanical rooms may have one exit if there is a maximum 100 foot common path of travel (7.12.1 Exception 1.(c). If the common path maximum length is exceeded, then the room is required to have a second exit (roof hatches count). (The attic exceeds the maximum)
- 24 8.2.3.2.4.2
Penetration in fire barriers require smoke dampers and smoke seal.

- 25 13.2.5.1
Common path 20 feet max. (Less than 50 people, 75 feet max). (Existing spaces violate this max.)
- 26 13.2.5.5.1 & 3
Seats automatically fold up. Clearance exceeds 12" minimum from seat to back. (Existing seat clearances range from 16 to 20 inches.)
- 27 13.2.5.6.3
(4) 42 inch aisle min. (Each aisle serves 63 people)
- 28 12.2.5.6.4
Auditorium ramp has a slope of 1.8 rise to 12 run ratio, exceeding the allowable of 1 to 12 slope.
- 29 13.2.6
Travel Distance to Exits: 150 feet max. (Existing exits are within this distance.)
- 30 13.3.1
Protection of Vertical Openings: Any vertical opening shall be enclosed or protected in accordance with 8.2.5 (monumental stair should be enclosed; chases, etc. require smoke seal and dampers.)
- 31 Portable Fire Extinguishers: Provide in all assembly occupancies in accordance with 9.7.4.1 as amended by State. Install per 906.1 of International Fire Code as adopted by Chapter 120-3-3 of Rules and Regulations of the Safety Fire Commission.
- 32 13.1.6 Table 13.1.6: Construction Type II (111) under notes requires one hour fire protection for the roof framing. The attic level with equipment is considered a floor. Table 601, Exception C of IBC requires the same; however, section 3403 as amended by the State can be used to waive the requirement for IBC. Owner may elect to request a waiver from the State Fire Marshall on the addition of one hour fire protection for the attic framing. A cost for this scope is carried in the estimate.

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Area within dashed line should be rated with a 20 minute door to comply with keynote 30; however, existing suite to north would need independent exist to fully comply with keynote 30.

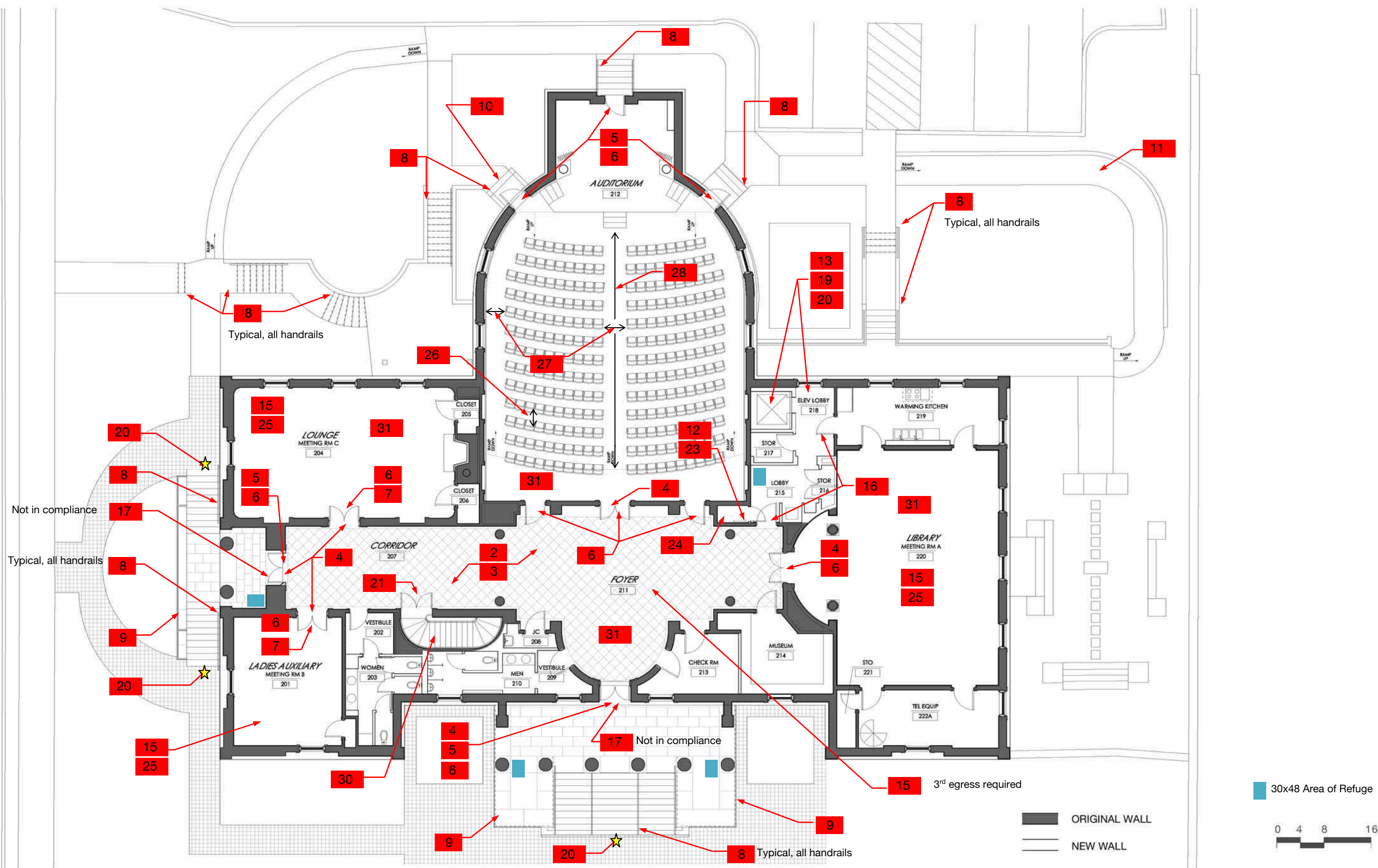


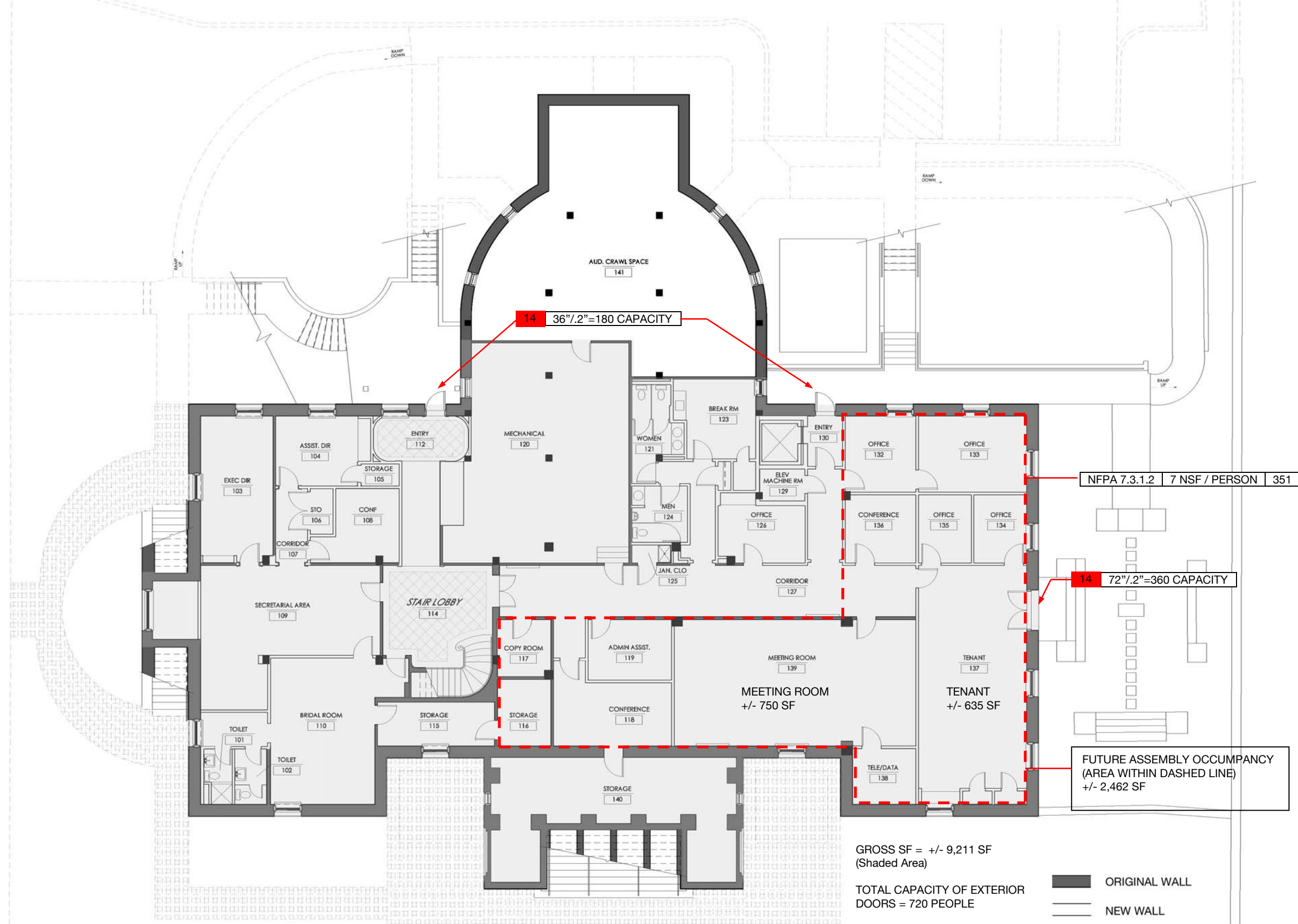
NOTE: Shaded area indicates scope of work for future renovation (see cost estimate). Phase I will involve cleaning space.

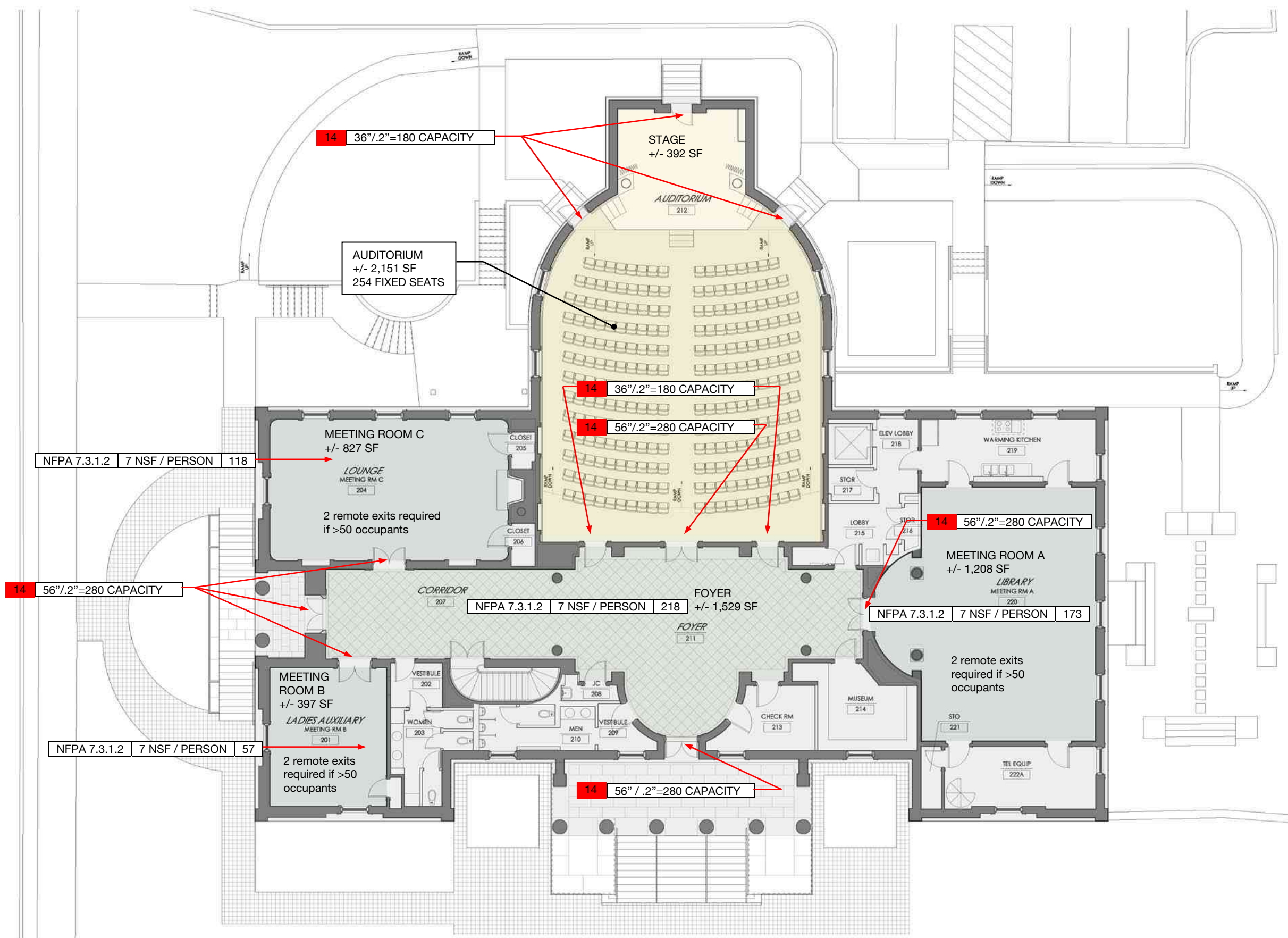
— ORIGINAL WALL
 — NEW WALL



		ACADEMY OF MEDICINE - CONDITION ASSESSMENT 875 WEST PEACHTREE STREET NE ATLANTA, GEORGIA 30309		TITLE NFPA LOWER LEVEL PLAN	
		DATE 11.21.08		SHEET NUMBER 29	





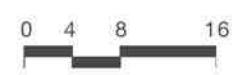


Occupancy Determination Per:
Ibrahim Maslamani (Director,
City of Atlanta Bureau of
Buildings) and Mary Miller
(Architectural Engineer, City of
Atlanta Bureau of Buildings)

218+57+118+173= 566 persons

GROSS SF = +/- 10,335 SF
(All shaded areas)

TOTAL CAPACITY OF
EXTERIOR DOORS = 920



	ACADEMY OF MEDICINE - CONDITION ASSESSMENT 875 WEST PEACHTREE STREET NE ATLANTA, GEORGIA 30309		TITLE NFPA OCCUPANCY / EXIT CAPACITY UPPER LEVEL	
			DATE 11.21.08	SHEET NUMBER 32

RECOMMENDED TREATMENT - KEYNOTES

Note: Photos and associated keynotes referenced in the following divisions are located on pages 51-55, Condition Assessment Photos.

DIVISION 1 - GENERAL REQUIREMENTS

- 1.1 Not Applicable

DIVISION 2 – SITEWORK

- 2.1 8x8 Brick Pavers: Level, sweep fines into joints, provide anchored heavy metal of aggregate edging around full perimeter of 8x8 brick paving.
- 2.2 Cast Iron Site Drainage: Clean / route out drains for proper flow
- 2.3 Remove landscaping and soil, clean and waterproof interior walls of planting well. Add drainage matt over waterproofing. Provide a perforated drainage pipe wrapped in filter fabric and drain planter to existing weeps or daylight.
- 2.4 Monitor cracked granite retaining wall. Future repairs / replacement may be required.

DIVISION 3 – CONCRETE

- 3.1 Provide liquid applied moisture barrier to all lower level concrete slabs to receive new flooring. Verify that the slab moisture content is suitable for the selected flooring. See photos 33-26 for examples

DIVISION 4 – MASONRY

- 4.1 Re-point mortar joints at limestone paving and limestone treads. Match original mortar. Provide a sample of clear sealer at limestone pavers/treads for owner review. Sealer will protect mortar.
- 4.2 Add Protective Concrete Coating (CR648 Sto or equal) on top horizontal limestone surfaces at copings /parapets.4.3
- 4.3 Remove / replace mortar at raised threshold with Sonneborne MP1 paintable sealant.

DIVISION 5 – METALS

- 5.1 Handrails: Provide NFPA 101 and ADA compliant handrail to match existing. To be provided at all stairs and ramps where a handrail does not exist or only exists on one side. Provide handrail extensions to match existing at the bottom and tops of all stairs and ramps.

DIVISION 6 - WOOD AND PLASTICS

- 6.1 See Exterior Windows and Doors
- 6.2 Add hurricane anchors at the base of all rafters, add Simpson straps at the beams supporting sloped and flat rafters, add post anchors to all post supports, anchor 2, 2x4 nailing plate to attic slab. Add anchors at the base of all framing posts in attic where they are not attached to attic floor slab. See attic photos 18-24
- 6.3 Sand and refinish hardwood flooring.
- 6.4 Add OSHA/NFPA guardrail and catwalk above auditorium ceiling. Add guardrails above other openings in attic floor.

DIVISION 7 - THERMAL AND MOISTURE PROTECTION

- 7.1 Copper Batten Seam Roof: Remove internal gutter and provide new 20 oz. gutter with proper slope and proper solder joints (Note: Existing 16 oz. gutter is insufficient to meet copper guidelines. Thermal expansion contraction is a source of solder joint cracking. Existing solder joints were not properly applied. Absence of solder on one side of horizontal seams indicates improper application of heat. Vertical seams were not flat locked and stitch patterned with solder. Consequently, solder has not properly filled/waterproofed joints/seams. Joints also have some evidence of cracking. Joints cannot be successfully re-soldered. Patches to date have taken the form of sealants and the removal of copper sections and reapplication with a copper patch. These patches may be holding as water tests gave no indication of gutter leaks; however, over the longer term the gutter condition will deteriorate). Solder edge cleat at all valleys and provide valley ridge. Upsize all overflow scuppers. See photos 1-6 and Roof Assessment sheets.

- 7.2 Internal Downspouts: Clean/route out for proper flow. Run camera to determine likely routing of downspouts to daylight / or City sewer and document. Provide new leaf guards at all internal downspouts. (Note: Hose test indicates at least one downspout is clogged. Backed up gutters will result in water infiltration between copper sleeve/ cast iron and into attic interior and finished plaster.) See photos 1, 18-21.
- 7.3 Flat Roof: Remove existing roofing to deck. (Existing roof was not properly installed in the 1981 renovation. Seams were not fused, flashing conditions were poor, and there is water ponding. Evidence that the existing roof is likely source of infiltration in heavy rains can be seen in water patterning on rafters.) Consider Soprema Alson or equal RS fluid applied roofing membrane. Add a granular topping with color to match copper. Lap over copper flashing at top of batten seam roof. Provide rain cap and flashing at top of existing chimney. See photos 7-17 for existing conditions.
- 7.4 Roof Hatches: Provide two new roof hatches. Provide OSHA compliant ladder at each new hatch for roof access. See photo 12.
- 7.5 Excavate foundation, prep foundation wall, waterproof, and add drain mat and foundation drainage.
- 7.6 Add closed cell soy based insulation to attic floor.
- 7.7 Lift stone, waterproof slab/wall juncture.
- 7.8 Fire Protection: Add 1 hour to roof rafters

DIVISION 8 - DOORS AND WINDOWS

- 8.1 Remove/strip all paint (to bare wood), glazing putty, and glass from all exterior wood, wood windows, and wood doors. Sand and prep all wood surfaces for repair and paint. Remove all rotten wood, inject wood hardener (Minwax or equal) in area around wood removal, rebuild area removed to match existing profiles with epoxy, or, in areas where larger sections of wood are removed, replace wood with new (custom profiles to match existing as required). Prime all wood, reglaze, and then apply two finish coats of paint. See photo 40 for typical wood window condition.
- 8.2 Door Hardware – Install new ADA and NFPA compliant threshold (length of weather-strip at bottom of door to marry threshold) See photos 41-47 for examples of code violations.

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- 8.3 Door Hardware/ Panic Bar: Historic door to be preserved. Prep door for new panic hardware / push bar with releasing device on latch and without separate interior lock. Remove interior deadbolts where they exist.
- 8.4 Interior Storm Windows: Provide a single pane interior storm window with frame to match existing wooden frames.

DIVISION 9 – FINISHES

- 9.1 Existing Stucco: Prep existing surface. Remove paint. Repair stucco cracks and chips. Consider the following or equal system: Skim stucco surface with “Sto Flexible Skim Coat”, wrap stucco with “Sto Fiber Mesh”, finish with vapor permeable “Sto Power Flex” in color to match original building color applied in 1941.
(Note: William Hover, Architectural Reviewer, Technical Services Unit of the State Historic Preservation Office, 404-651-5288; would like to see a “less intrusive hybrid solution explored”. He suggests the proposed system be used for cracks that are “active” and a waterproofing problem. He noted that low maintenance is a “modern concept” and that traditional stucco would get a new “lime wash” every 2 to 3 years.)
- 9.2 Interior Plaster: Remove damaged plaster and repair. Match existing moulds as required. **See photos 26-31 for examples.**
- 9.3 Interior Paint: Prep and repaint interior of main level. Consider using a lime based paint.
- 9.4 Exterior Paint: see 8.1
- 9.5 Prep and paint all exterior metalwork.
- 9.6 New curtain
- 9.7 New fabric on all seats. **See photo 25 for seat condition.**
- 9.8 Install ceiling rosettes medallion #4549 as manufactured by Decorators Supply Corporation at ceiling junction box for chandelier.
- 9.9 Install ceiling rosettes medallion #27002 as manufactured by Decorators Supply Corporation at each ceiling junction box for chandelier.
- 9.10 See finish schedule.

DIVISION 10 – SPECIALTIES

- 10.1 Not Applicable

DIVISION 11 – EQUIPMENT

- 11.1 Not Applicable

DIVISION 12 – FURNISHINGS

- 12.1 Not Applicable

DIVISION 13 - SPECIAL CONSTRUCTION

- 13.1 Not Applicable

DIVISION 14 - CONVEYING SYSTEMS

- 14.1 Renovate existing elevator.

DIVISION 15 – MECHANICAL AND PLUMBING

- 15.1 See Mechanical Assessment report

DIVISION 16 – ELECTRICAL AND DATA/COMM

- 16.1 See Electrical Assessment report
- 16.2 Remove and patch j-box for floods above pair of doors from lower level tenant 134 space to courtyard. Add two new fixtures at existing junction boxes flanking door (match fixtures used in 1941).

 	<p>ACADEMY OF MEDICINE - CONDITION ASSESSMENT</p> <p>875 WEST PEACHTREE STREET NE ATLANTA, GEORGIA 30309</p>	<p>TITLE RECOMMENDED TREATMENT KEYNOTES</p>	
		<p>DATE 11.21.08</p>	<p>SHEET NUMBER 34</p>

RECOMMENDED TREATMENT - KEYNOTES

FINISH SCHEDULE

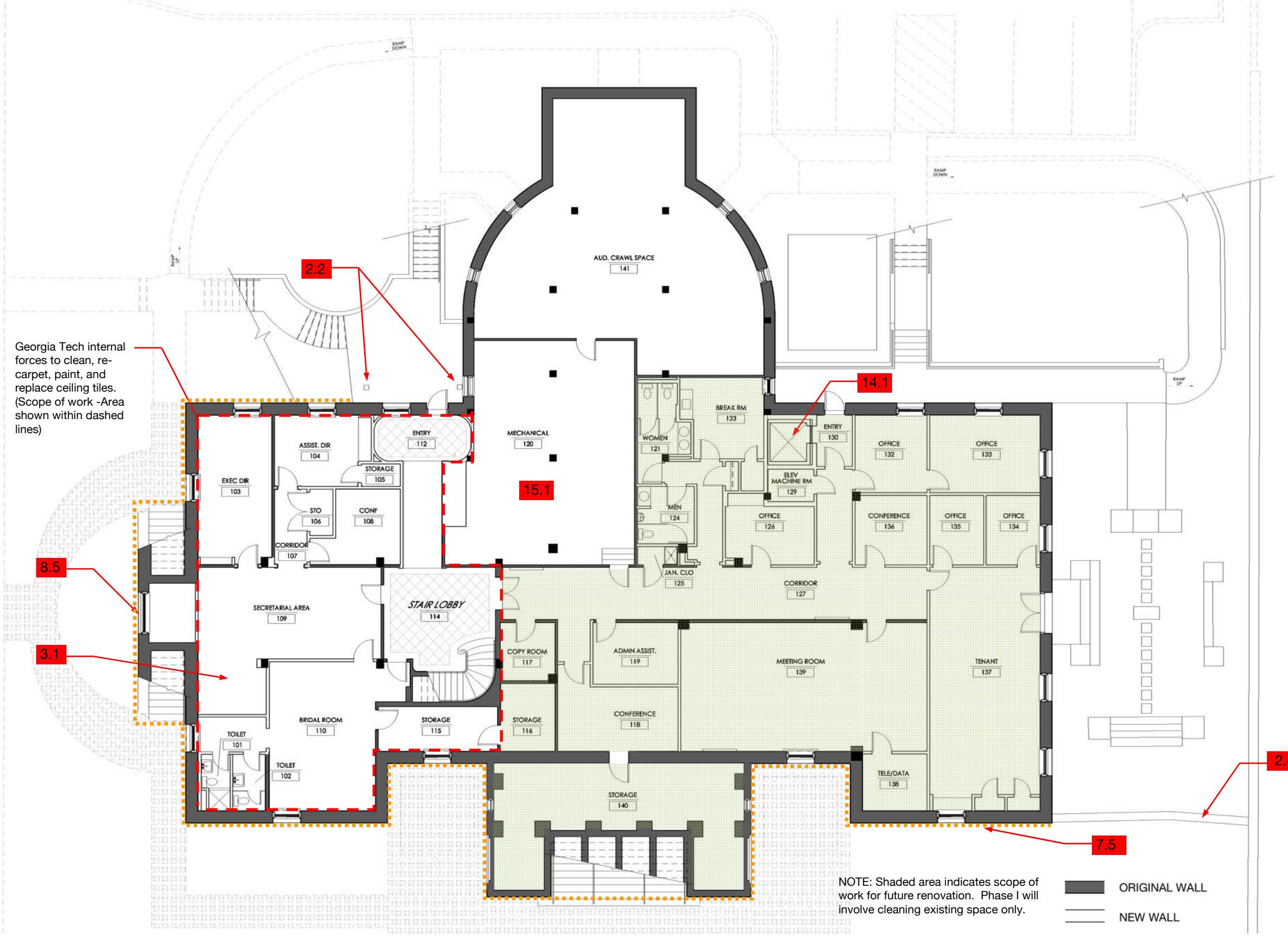
#	ROOM NAME	FLOOR	CEILING	MILLWORK	WALLS	NOTES
201	Ladies Auxiliary (MR B)	CPT	PT	PT	PT	Remove wall covering
202	Vestibule	EX	PT	PT	PT	Remove wall covering, see note 1
203	Women's Room	EX	PT	PT	PT	Remove wall covering, see note 1
204	Lounge (MR C)	CPT	PT	PT	PT	
205	Closet	CPT	PT	PT	PT	
206	Closet	CPT	PT	PT	PT	
207	Corridor	EX-H	PT	PT	PT	Existing Marble Floor is a historic feature
208	Janitor's Closet	EX-H	PT	PT	PT	
209	Men's Room Vestibule	EX	PT	PT	PT	Remove wall covering, see note 1
210	Men's Room	EX	PT	PT	PT	Remove wall covering
211	Foyer	EX-H	PT	PT	PT	Existing marble floor is a historic feature
212	Auditorium	CPT/WD	PT	PT	PT	Remove acoustical panels, Refinish stage flr.
213	Coat Check Room	NEW	PT	PT	PT	Remove carpet
214	Museum	EX	PT	PT	PT	
215	Lobby	NEW	PT	PT	PT	
216	Not Used					
217	Not Used					
218	Elev. Lobby	NEW	ACT	PT	PT	Remove wall covering, demo ceiling tile
219	Warming Kitchen	NEW	ACT	PT	PT	Remove wall covering, demo ceiling tile
220	Library (MRA)	NEW	PT	PT	PT	Remove acoustical panels
221	Storage	EX	PT	PT	PT	
222A	Tel. Equipment	EX	ACT	PT	PT	Demo ceiling tile
222B	Tel Equipment	EX	ACT	PT	PT	Demo ceiling tile

FINISH LEGEND

EX	Existing finish to remain; Clean and reseal flooring as required (All flooring is not original unless noted otherwise.)
EX-H	Historic existing flooring to remain; clean and reseal flooring as required. (See schedule for identification of historic flooring)
NEW	New finish to be determined
CPT	New carpet to be determined
PT	New paint - color and sheen to be determined
ACT	Replace existing Acoustical ceiling system (ACT) with new system. (Hard ceilings in 218 & 219 would be a preferable upgrade)
MR	Meeting Room
WD	Hardwood Flooring; Refinish

Note 1- New finishes to be specified if renovated to comply with ADA

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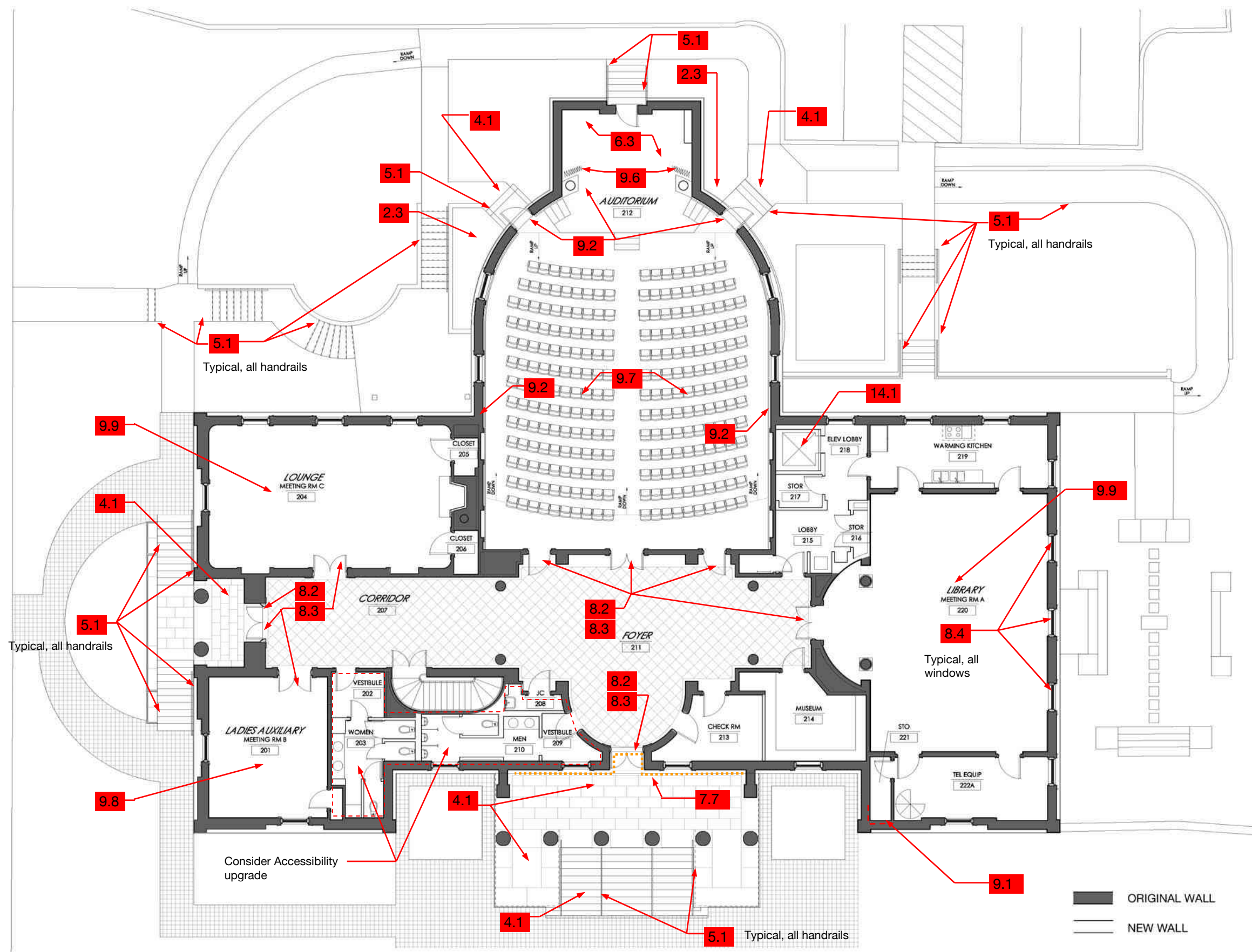
Georgia Tech internal forces to clean, re-carpet, paint, and replace ceiling tiles. (Scope of work -Area shown within dashed lines)

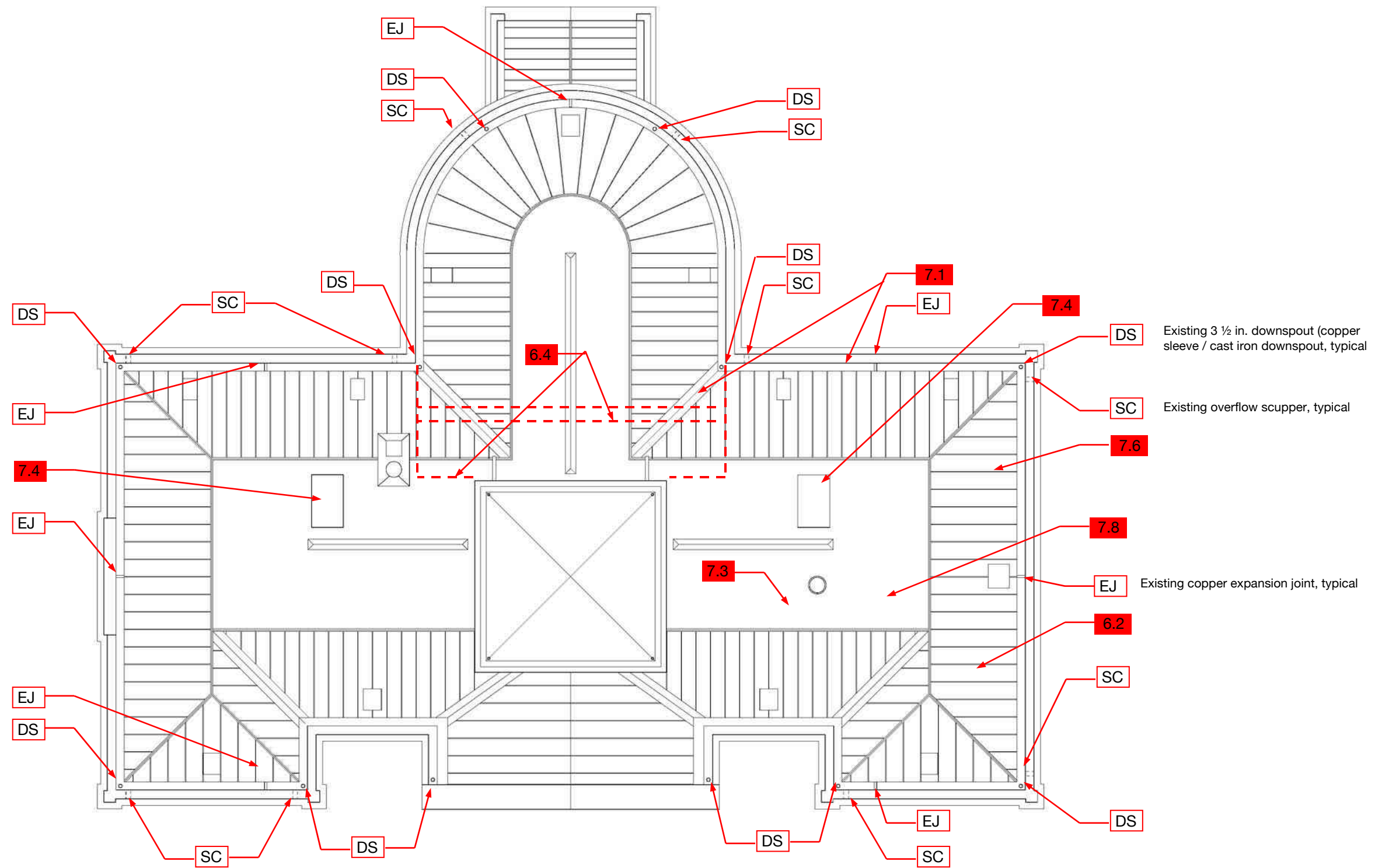
NOTE: Shaded area indicates scope of work for future renovation. Phase I will involve cleaning existing space only.

— ORIGINAL WALL
— NEW WALL



		ACADEMY OF MEDICINE - CONDITION ASSESSMENT 875 WEST PEACHTREE STREET NE ATLANTA, GEORGIA 30309		TITLE RECOMMENDED TREATMENT - LOWER LEVEL	
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Existing 3 1/2 in. downspout (copper sleeve / cast iron downspout, typical)

Existing overflow scupper, typical

Existing copper expansion joint, typical




ACADEMY OF MEDICINE - CONDITION ASSESSMENT
 875 WEST PEACHTREE STREET NE
 ATLANTA, GEORGIA 30309

TITLE	
RECOMMENDED TREATMENT ROOF PLAN	
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COPPER ROOF SYSTEM NARRATIVE

This report is based on site visit observations and measurements made on Thursday, November 6, 2008 combined with the attached as designed roof plan.

During the visit, the roof was dry, w/seasonal temperatures. There was no standing water in the internal copper gutters.

The roof plan is divided into several drainage areas, noted by letters “A”-“F” (drawing attached) The overall roof design is symmetrical along an East/West axis, so roof areas on each side of this axis (“South” or “North”) exhibit the same slope and area.

BUILDING ELEVATION OBSERVATION

Observed water damage to stucco fascia and soffit in areas underneath where downspouts draining roof plan area “B” “North” and “South” exit the built in gutter. This is also the area where the area “B” valleys drain significant amounts of water into the built in gutter, and where physical observation of the gutters reveal multiple attempted solder “patches” to the gutter lining. Image 1.

Water damage to stucco under roof/built-in gutter serving roof area “C” North. Image 2.

Fascia, under scupper serving roof area “C”, South. Slight green staining on fascia. Green staining is an indication that water, containing copper ions from the roof/gutter, has passed through the scupper. Thus, in at least this area, the gutter lining filled to the point of using the scupper

INTERIOR OBSERVATIONS

Significant plaster damage to areas corresponding to the exterior stucco damage noted above. Images 3 and 4.

Some signs of prior damage in central portion of ceiling, however, these have been lightly repaired & repainted, suggesting that this damage could be attributed to prior water infiltration. Image 5

Attic: In many areas, wood decking and rafters show staining, potentially due to water infiltration. Wood, however, did not appear to be wet during my visit. Images 5 and 6 demonstrate this staining. These were taken under the low slope roof vent over the south wing of the building, but similar staining was noted in many other areas.

Low Slope Roof Areas: There are signs of many patches/repairs to the roof covering in these areas. Slope is not even, leaving the possibility of ponding water and uneven water distribution to sections of built-in gutter.

BATTEN SEAM COPPER ROOF

Note: Batten Seam Roofing is covered in the *Copper in Architecture Handbook*, Section 4.2.3 and 4.2.4

Panels seam caps appear to be brake formed from 16 or 20 oz copper to industry standard dimensions.

Panel length corresponds roughly to common copper sheet length, with appropriate “high slope” style (applicable over 6:12 slope—this roof is about 7:12 slope) transverse seams. Panels were not removed to observe the transverse seams, but position of underlying 2” “Loose lock” seam telegraphed through the upper sheet of copper.

Batten seam caps: Every seam cap was not inspected, however one cap, positioned over the front entrance of the building (roof area “E” North) was not locked to the underlying panel. Suggest an inspection of all seam caps. Faulty cap installation does not appear to be widespread—this may be the only instance. A skilled sheet metal contractor should be able to easily reattach this cap.

Batten Seam Cap end Closure: Batten seam cap ends are not closed per *Handbook* 4.2.3 “C”—Many variations are possible, and due to the nature of the locked seams (unsoldered) and position of the seam cap ends (fully over either the valley or gutter) water infiltration via the seam ends is unlikely.

Batten Seam Panel Attachment “Cleats”: Under the poorly attached batten cap, the method used to cleat the panels to the battens could

not be observed. Staggered cleats are attached to the top of the battens, not the sides or under the batten as recommended in the *Handbook* 4.2.4 C “Alternate Cleat Types”. Typically, cleats should be installed with two fasteners. The observed cleat was fairly narrow, possibly attached with only one fastener.

Although panel attachment is not per *Handbook* recommendations, there does not appear to be evidence of failure due to negative wind uplift pressure.

VALLEY

The valley appears to be constructed per *Handbook* Detail 4.2.4 B with a lock strip soldered to the valley to engage panels—option shown to the left of the valley.

The exact attachment method of the valley could not be observed, or dimension of copper positioned under the roof panels. In one area, however, we noted that the lock strip was not soldered properly, allowing one to reach under the panel. This is a potential source of water infiltration in a heavy rain.

This type of valley is designed so rainfall on equal roof areas to each side of the valley will flow down the panels meeting at the center of the valley, with equal flows canceling each other, discouraging water from flowing under panels to the opposite side of the valley.

There are alternative valley designs, preferable for roofs with unequal flow or unequal slope valley. These designs incorporate either a soldered or brake formed “baffle” in the center of the valley. The concept is shown in *Handbook* details 4.3.11 B and 4.3.11 D.

The Academy of Medicine roof design should provide for equal slope. Unfortunately, the low slope roof areas currently have uneven slopes, and may direct uneven water flow to each valley.

Water from roof area “F” is also directed via a short downspout section to one side of the valley. This excess, off center, water flow may overwhelm one side of the valley, resulting in water infiltration during heavy rain. The valleys should be rebuilt with the proper soldered lock strip, with a baffle in the valley for unequal flow. The

 	ACADEMY OF MEDICINE - CONDITION ASSESSMENT 875 WEST PEACHTREE STREET NE ATLANTA, GEORGIA 30309	TITLE COPPER ROOF ASSESSMENT	
		DATE 11.21.08	SHEET NUMBER 39

gutter should be redirected to either create or move equal flow in the valley or to route the water directly into the internal gutters.

BUILT-IN GUTTERS

Gutter outlet strainers were missing from many, if not most outlets. Leaves were noted in several gutter sections, without consistent maintenance, the built-in gutters outlets, may clog from leaves and other debris.

Water “hose test”:

A water hose test was performed to observe drainage of built-in gutters serving roof areas “B” –North and South, “C” North and South and “G” South.

Water quickly filled drains serving areas “C” and “B” South, to the point it backed up into the gutter lining. It is likely that water is flowing between the built in gutter outlet and the cast iron drain below, causing water to infiltrate the building interior.

Suggest that the owner unclog all roof drains, that proper strainers be fitted to each outlet and that the owner have a plumbing engineer review the possibility of modifying the cast iron drainage system to allow for some type of cleanout.

Should water fully fill the built in gutters, and scuppers be of insufficient capacity, or placed too high in the gutter lining to handle overflow water will enter the building. Often the point of entry is the expansion joint cap, although elastomeric membranes are occasionally installed under these caps, potentially causing water to enter at the sides of the gutter lining; however, this installation does not have such a membrane.

Proper built in gutter design and installation is critical.

Gutter lining—design of system under roof panels. Longer built in gutter “runs” were fabricated out of full length (8’ or 10’) sheets. This would indicate 36” copper sheet width, as this was the widest available in 1983.

A built in gutter lining should extend at least 4” under the roof panels—*Handbook* 4.4.5 C. Thus the batten seam panels effectively flash over the gutter.

Based on field gutter lining measurements (detailed on attached sheet titled “Gutter Capacity & Expansion Jts.” P1, the gutter may have been formed from one 36” wide piece— 34-35” should cover the lining.

It was not possible to physically observe the edge of the built in gutter lining under the batten seam roof panels. If the recommended 4” lap is not observed, it is possible that water, especially with a clogged roof drain (as observed) and scuppers (not observed) could infiltrate past the gutter lining from under the roof panels.

Soldered seams: Gutter lining transverse seams should be flat locked and soldered (possible with 16 or 20 oz copper) or lapped riveted and soldered *Handbook* 4.4.5 “D”.

Most of the gutter lining transverse seams on this building are flat locked and soldered, but some are lapped and soldered. No lapped riveted and soldered gutter lining seams were observed.

Flat Locked and Soldered Seams: Solder is to fill the entire seam. In order to fully fill the seam, often called “sweating”, a soldering copper is applied over the flat lock. If the copper lining material is properly prepared, tinned, and fluxed, solder will flow through the flat lock seam fully filling it with solder.

Soldering flat locked seams is more challenging as slope increases. A technique called “stitching” is commonly employed to help fill the seam with solder. Stitching technique varies, but generally results in a ridged line of solder over the seam (fully covering the entire lock). Stitching may also be applied at lower slope, but is not necessary. In some cases, stitching is so aggressive that the actual seam opening is covered, and thus not visible. It is common for stitching to also be used with higher slope lapped and lapped riveted seams.

A stitched flat lock seam is shown in Image 8. (image taken near inside corner of roof drainage area “B” North)

Unfortunately, Image 8 indicates two other key points:

- 1) The initial soldering was not done properly. Note portion of the seam at the lower part of the image, solder does not extend fully across the flat lock (one can observe the edge of the inner portion of the lock to the right of the seam).
- 2) At some point a worker attempted to re-solder a (presumably) failed portion of this seam. Note the upper stitched portion. More aggressive stitching, with residual green from flux to either side of the seam at this point. It is impossible to resolder a cracked seam, as the interior of such a seam has been contaminated and can’t be properly cleaned. It is possible that the worker covered the crack with this aggressive stitch, but, as the solder is not within the seam, the solder covering is relatively weak and cannot handle tensile load.

Other flat locked and soldered seams, like that shown in Image 8, are not soldered using proper technique and are thus suspect.


In many cases, workers have attempted to solder over failed seams, or to cover the failed seam with sealant. Image 9 provides many examples.

Some gutter seams, especially near corners, outlets and some patches, represent the lapped soldered seam type.

If a lapped seam is used in an area where tensile stress is expected, (such as the seams noted at gutter lining corners) the lap seam should be lapped 1 1/2” riveted and soldered. On the Academy of Medicine, all observed laps are significantly less than 1 1/2” and no rivets are noted.

Numerous attempted patches of failed solder seams and improperly soldered seams appear in Image 10.

Note that thermal movement of the valley is restricted as it meets the built in gutter, adding additional stress to a critical juncture.

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BUILT-IN GUTTER COUNTER FLASHING

The function of the copper piece added in many areas to counter flashing over the outer edge of the built-in gutter could not be determined. Image 7

In several places relatively new sealant was applied to a seam on these pieces.

DOWNSPOUT CAPACITY

Per *Handbook* Section 4.4.B, minimum downspout cross section (thus outlet) is 7 square inches, for a round downspout, this is slightly less than 2.984" diameter.

Observed built in Gutter outlet diameter in areas A-E: 3.375"

Based on the *Handbook*, roof plan, and 100 year rainfall data (table 4.4.2) outlets serving roof areas "B" North and South are under recommended 100 year capacity (diameter). Recommended: 3.708" vs. observed 3.365"

Outlet diameter for areas "E" are extremely close to the recommended minimum: Recommended: 3.272" vs. observed 3.375"

See attached pages titled "Downspout Capacity" (1 and 2) for full calculations.

Outlets serving small roof area "G" are significantly smaller (2" dia) than the 3" minimum recommended diameter.

A 3.375" diameter outlet is too small for built in gutters on this building—suggest increasing outlets in all areas to at least 4". Cast iron drain pipe diameter should correspond to plumbing code minimum diameter. Under no condition should it be less than the outlet diameter.

SCUPPER CAPACITY / DESIGN

Overflow scuppers are placed near each downspout. In many areas scupper diameter is less than the corresponding downspout. Should the outlet clog, the scupper will not be able to handle overflow. Water will thus flow into the expansion joints or edges of the gutter into the building.

Overflow scuppers serving small roof area "G" are positioned relatively high.

GUTTER CAPACITY

Based on 100 yr rainfall as presented in *Handbook* Table 4.4.2, observed gutter dimensions and cross section, and Table 4.4.4: The gutter has sufficient capacity to handle estimated water flow. Supporting calculations on attached sheet "Gutter Capacity and Expansion Jts" P1

BUILT-IN GUTTER COPPER THICKNESS

Built-in gutter linings must be of copper sufficiently thick to transfer thermal loads to expansion joints without buckling.

Proper thickness is a function of gutter dimensions, cross section and distance between fixed points (commonly corners and outlets) and expansion joints. Based on *Handbook* Table 4.4.3 "Critical Load Table—Expansion Joint Spacing", the specified 16 oz. thick copper is insufficient to handle expected thermal loads.

Over time under strength gutter linings will buckle. On occasion, buckling will be dramatic and rapid, with failure at one (or a few) large work hardened locations. In other situations, buckles will be very small and distributed along angle between vertical (or sloped) and horizontal portions of the gutter. A series of very small buckles may take many years to work harden and crack.

Built in gutters serving most roof areas of the Academy of Medicine building are not sufficiently thick. See attached sheet "Gutter Thickness" for details.

With existing gutter cross section and fixed point locations, 24 oz copper would be sufficient in all but one area—relocation of an expansion joint 2-3' could handle this issue.

BATTEN SEAM ROOF VENTILATORS

Ventilators are positioned within the field of batten seam panels over the roof. The ventilators appear to be "flat locked" into the roof pans. If they are soldered, it is not obvious. Perhaps, the installer soldered the ventilators into these panels prior to roof panel installation, from the underside of the panel. If so, solder may not be visible on the roof. If the seams between the ventilator and roof panel are not soldered these seams are all potential water infiltration points.

Screen mesh within the ventilators appears to be sufficient to block birds, but not insects.

Suggest redesign to inside of all ventilators to capture any windblown or rain spray, blocking and diverting it before entering the building.

LOW SLOPE ROOF RIDGE VENTILATORS

Screen mesh within the ventilators appears to be sufficient to block birds, but not insects.

M+W suggests redesigning the interior of all ventilators to capture windblown or rain spray, blocking and diverting it before it can enter the building.

Integration of the ventilators with the roof membrane: There is significant water staining to rafters under the ventilators. Image 5. The staining may be due to past failure of the built up roof, current failure of the membrane, failure of integration between membrane and ventilator base or significant water spray into the ventilator.

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COPING

M+W was not able to determine existence of through wall copper flashing under stone coping at the perimeter of the building. Built-in gutter counter flashing enters the wall under the stone, but there is no evidence it transitions to through wall flashing. Should water infiltrate the stone coping joints, it could seep into the walls. If this is an issue, however, one might expect widely distributed water damage.

CONCLUSIONS

Understanding that M+W has not evaluated the condition of the low slope membrane roof—

Observed water damage is likely due to several sources, all of which should be addressed:

- 1) Cast Iron drainage-- Unclog and add clean outs.
- 2) Insufficient outlet diameter.
- 3) Lack of gutter strainers, preventive maintenance to prevent leaf and other debris from clogging system.
- 4) Insufficient overflow scupper capacity.
- 5) Increased water flow into valleys serving roof areas "B" combined with possible diversion of water under panels at these valleys.
- 6) Built in gutter linings of insufficient thickness to handle thermal loading.
- 7) Improperly soldered seams in built in gutter linings.
- 8) Failed attempts at repairing soldered seams.

Other areas of concern, but unlikely to be primary areas of water infiltration:

- 1) Roof ventilator design, both low and high slope styles.
- 2) Batten Seam Cap attachment.
- 3) Batten Seam Panel attachment (cleats and fasteners).
- 4) Potential lack of through wall flashing under coping.

Note: Roof Plan to the right is not to scale

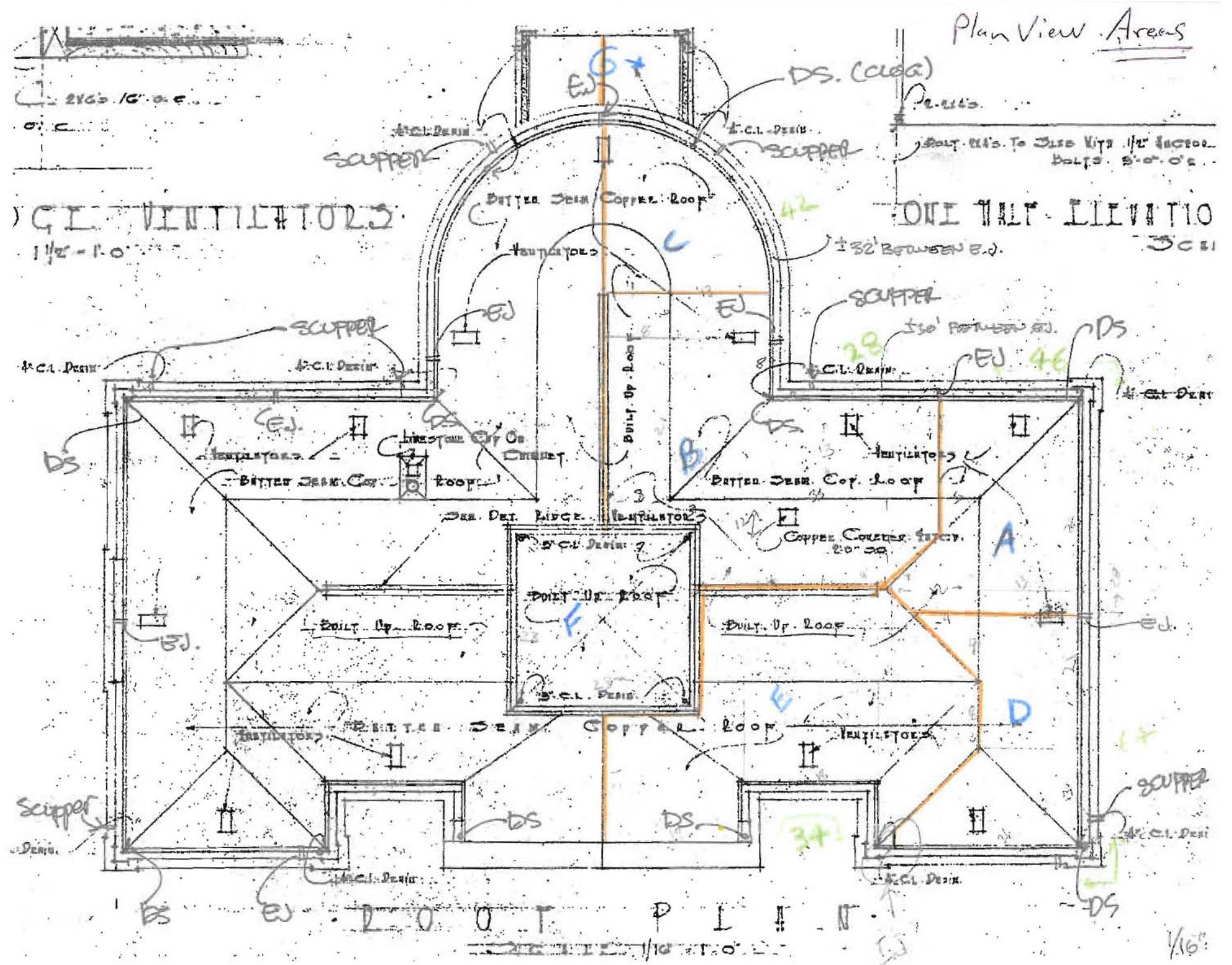




Image 1: Fascia/Soffit Water damage corresponding to downspout, valley, scupper roof area "B" North

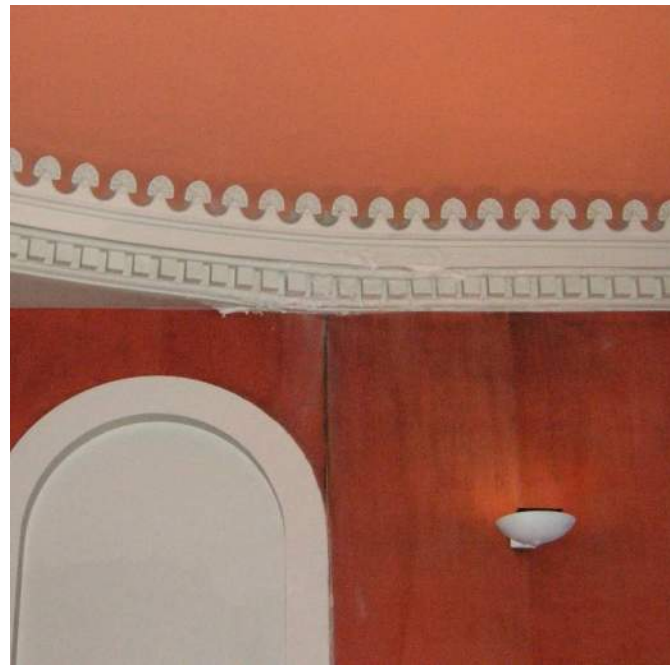


Image 3: Interior Plaster Damage corresponding to downspout, valley, scupper roof area "B" North



Image 5: Ceiling central portion under roof area "B"— area of prior plaster damage repainted



Image 2: Fascia/Soffit Water damage corresponding to downspout and scupper, roof area "C" North

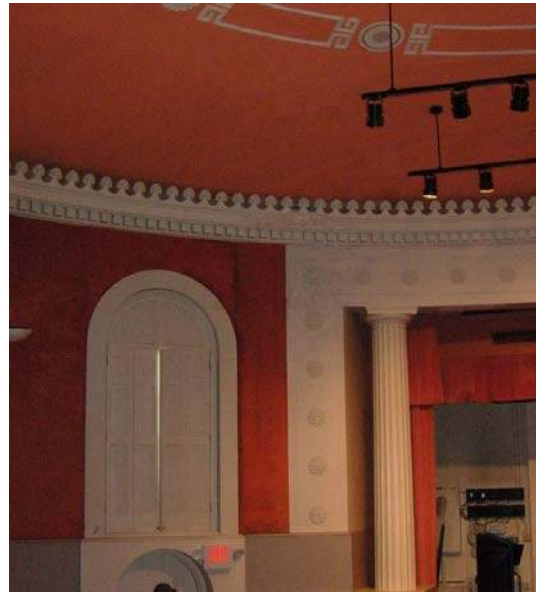


Image 4: Interior Plaster Damage corresponding to downspout and scupper, roof area "C" North



Image 6: Evidence of water infiltration under low slope roof ventilator



Image 7: Water test in gutter section "C" South, showing clogged drain, also excess copper piece under flashing





Image 9: Two improperly soldered flat lock seams, both with attempted re-soldering and/or sealant patch. These are in radius built in gutter areas "C", thus close transverse seams.

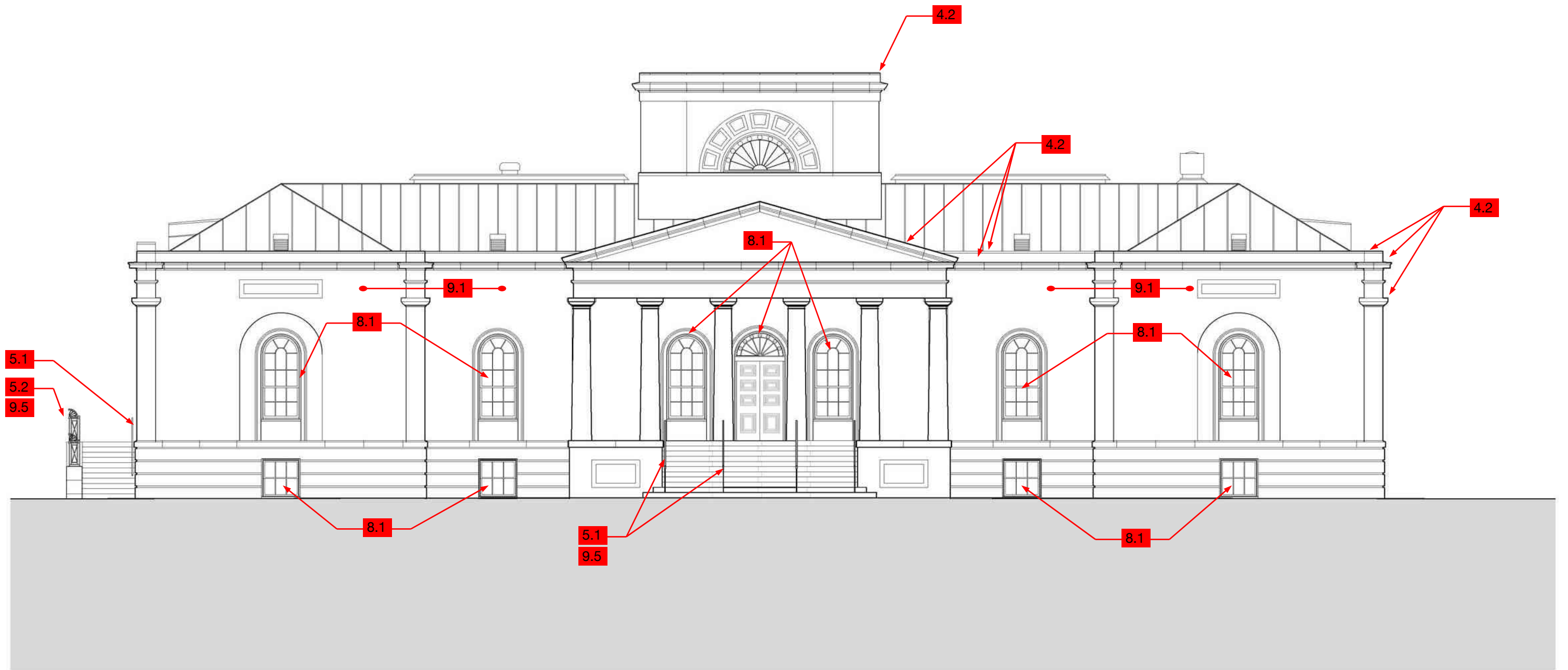


Image 8: Improperly soldered flat lock seam. Lower portion was original; upper appears to represent an attempted re-soldering of a failed seam.

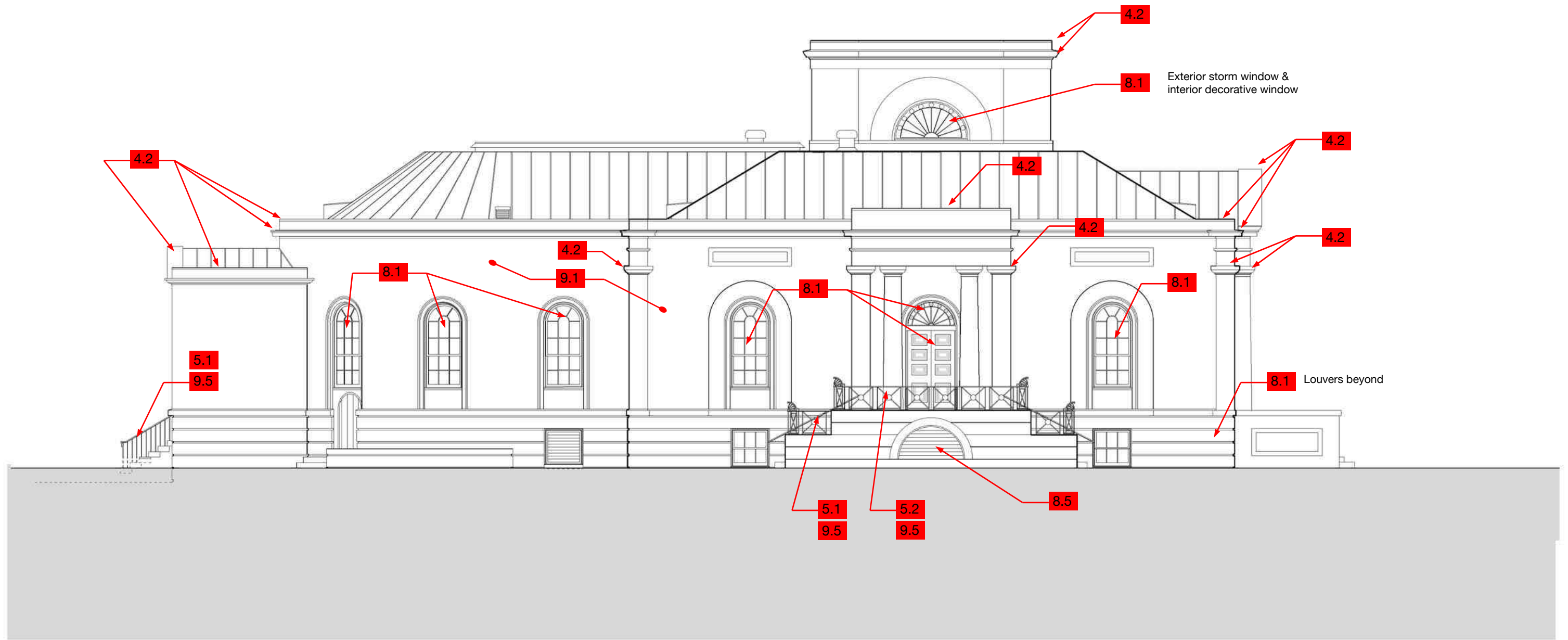


Image 10: improperly soldered flat lock seams, lap seams, and patches at corner roof area "B" North

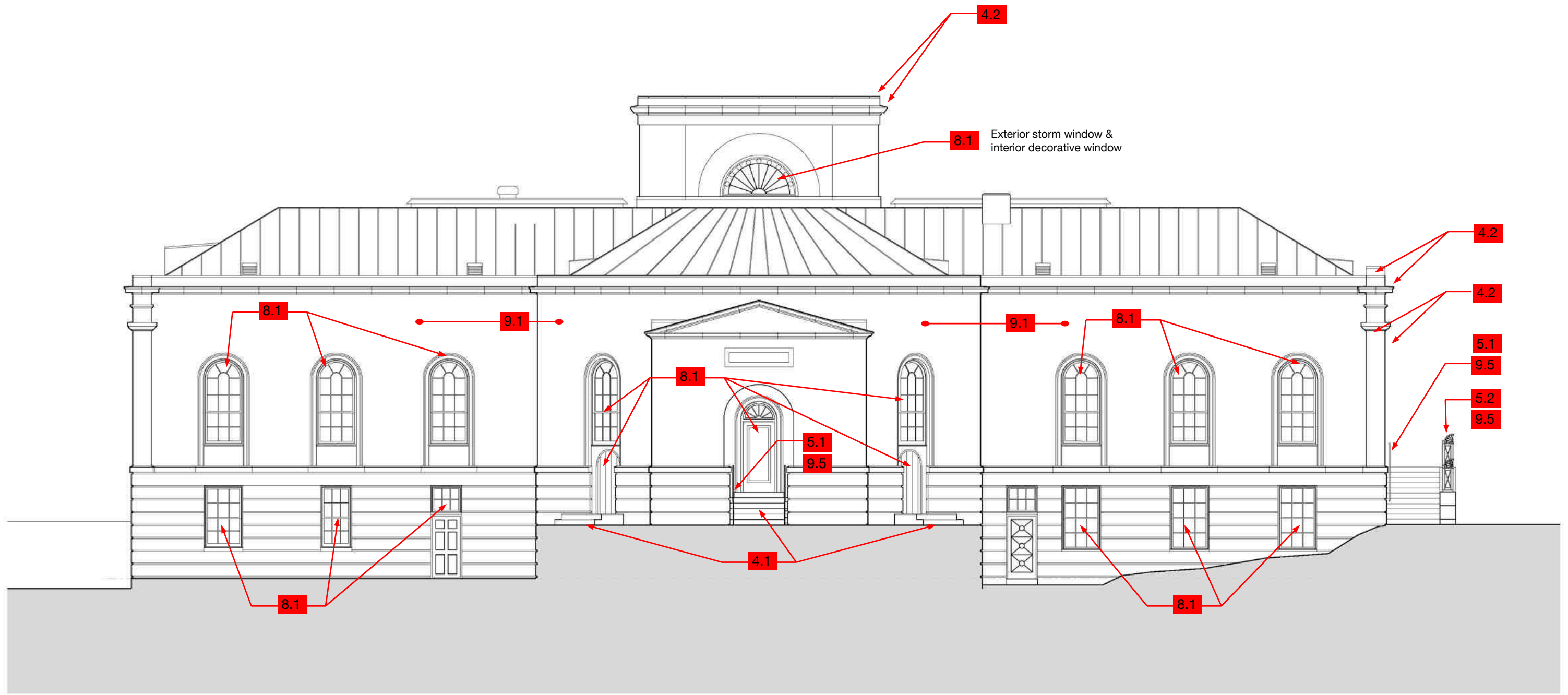
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 	200825: GEORGIA INSTITUTE OF TECHNOLOGY CONDITION ASSESSMENT - ACADEMY OF MEDICINE	TITLE RECOMMENDED TREATMENT - WEST ELEVATION	
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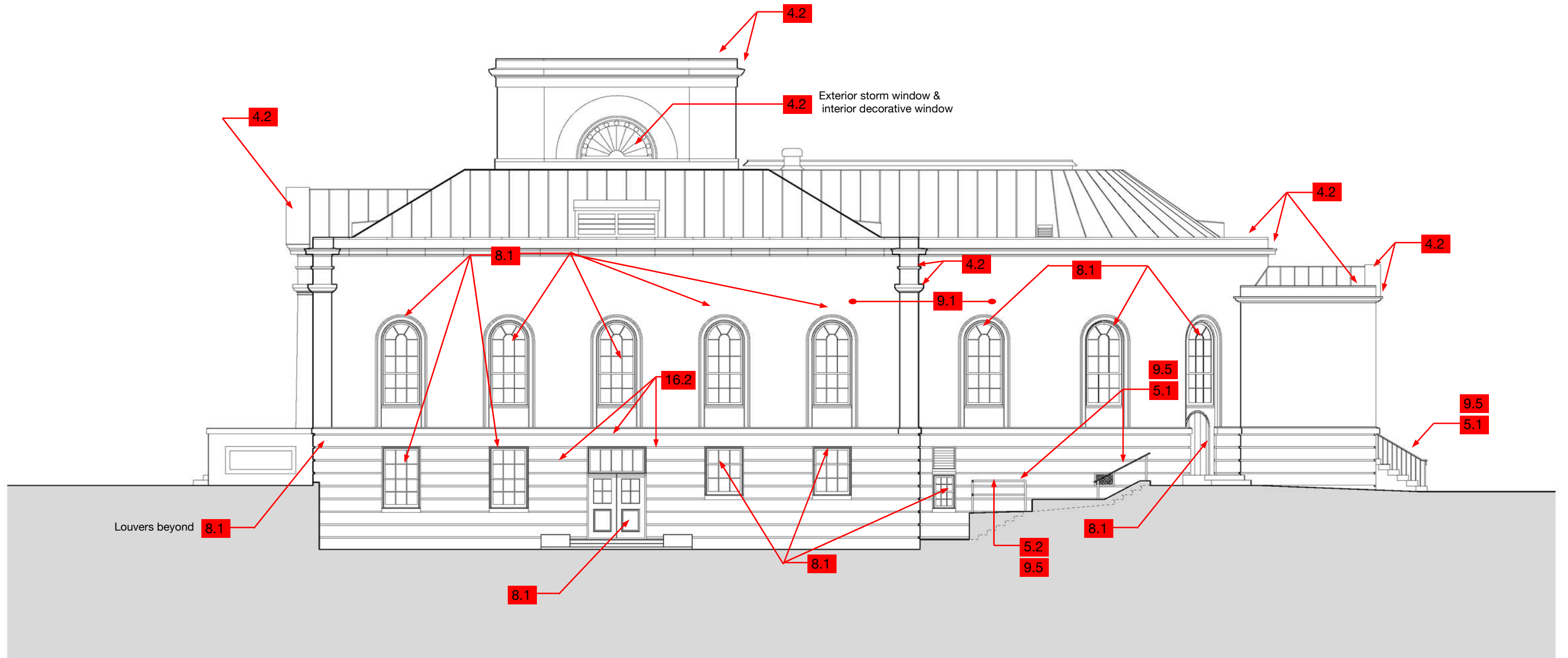


 	200825: GEORGIA INSTITUTE OF TECHNOLOGY CONDITION ASSESSMENT - ACADEMY OF MEDICINE	TITLE RECOMMENED TREATMENT - NORTH ELEVATION	
		DATE 11.14.2008	SHEET NUMBER 46



 	200825: GEORGIA INSTITUTE OF TECHNOLOGY CONDITION ASSESSMENT - ACADEMY OF MEDICINE	TITLE RECOMMENDED TREATMENT - EAST ELEVATION	
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REVISED 01.07.09



Louvers beyond 8.1

4.2 Exterior storm window & interior decorative window



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COLOR ANALYSIS NARRATIVE

SUMMARY

This color report was prepared over Tuesday and Wednesday 18th and 19th of November 2008 by Geoffrey Steward and Mary Aldrich of International Fine Art Conservation Studios Inc. (IFACS) of Atlanta, Georgia, on behalf of Menefee + Winer, Architects, of 1075 Brady Avenue NW, Atlanta, GA 30318. The intent of this study was to isolate the original 1941 color scheme for purposes of historic record. No subsequent paint campaigns were recorded.

All 29 interior exposures and 11 exterior exposures were made using a combination of mechanical and chemical paint removal methodologies to expose the original paint.

All readings where noted were taken using a Konica-Minolta Spectrophotometer 2600d outputting Munsell paint reference formulas.

Reading locations can be referenced from the attached plan and elevations.

For the purpose of this summary all paint references are noted using Benjamin Moore colors with name and reference numbers. See Appendix for Konica-Minolta 2600d Spectrophotometer Readings and Munsell Readings.



Possible image of original color scheme. (Source of slide: Atlanta History Center, slide taken prior to 1981 renovation)

INTERIOR

Foyer

1. Baseboard: OC-7 Creamy White
2. Fluted Pilaster: AC-4 Yosemite Sand or 2162-50 Arizona Tan
3. Fluted Column: 2162-50 Arizona Tan
4. Top of Fluted Column (Flutes): HC-82 Bennington Grey
5. Wall: HC-26 Monroe Bisque
6. Wall: HC-26 Monroe Bisque
7. Door Frame: 2162-50 Arizona Tan

Auditorium

1. Wall: 2162-50 Arizona Tan
2. Wall: 2162-50 Arizona Tan
3. Wall: 2162-50 Arizona Tan
4. Window Surround: 2162-50 Arizona Tan
5. Column Flute (Stage): 2162-50 Arizona Tan
6. Wall (next to Column on Stage): 2162-50 Arizona Tan
7. Wall (next to Column on Stage): 2162-50 Arizona Tan
8. Panel Molding: 50% 2162-50 Arizona Tan/50% 2162-40
9. Peanut Shell Panel: 2162-50 Arizona Tan
10. Door Frame: 2162-50 Arizona Tan

Meeting Room C (Lounge)

Note: Photographs on the following page reference wall and trim colors and indicate stratigraphies



1. Baseboard: HC-29 Dunmore Cream
2. Wall A (very fugitive sample): HC-96 Richmond Grey
Wall B (by door) (very fugitive sample): HC-96 Richmond Grey
3. Trim: HC-39 Putnam Ivory

Meeting Room B (Ladies Auxiliary)

1. Wall (under wallpaper): 2162-50 Arizona Tan
2. Trim: OC-1 Natural Wicker
3. Window: OC-1 Natural Wicker

Meeting Room A (Library)

1. Baseboard: HC-45 Shaker Beige
2. Chair Rail (as Shutters): Not Original – 1 coat primer & 1 coat contemporary paint.
3. Window: HC-93 Charrington Beige
4. Column Base: 2153-50 Desert Tan
5. Shutters (as Chair Rail): Not Original – 1 coat primer & 1 coat contemporary paint.

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EXTERIOR

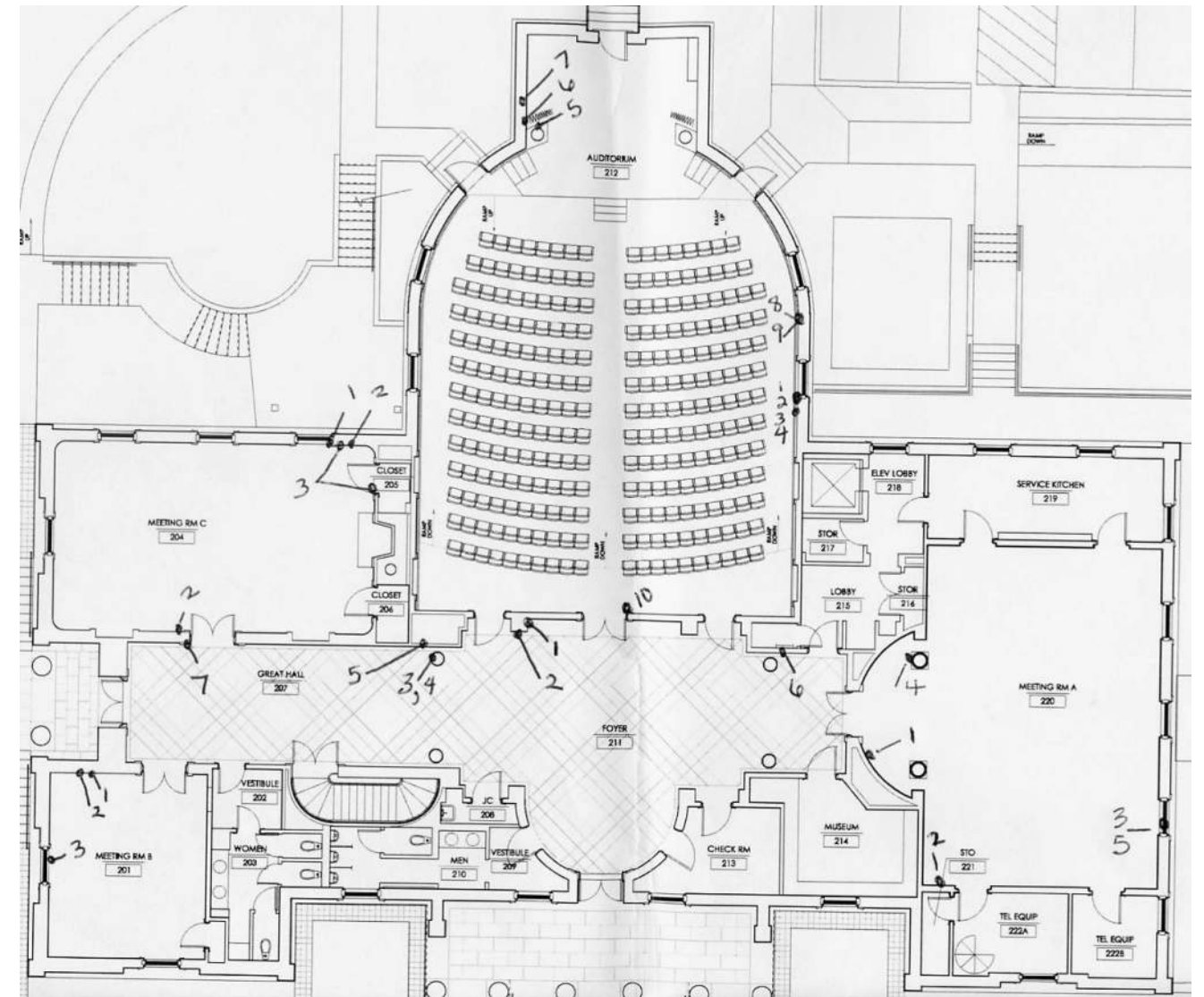
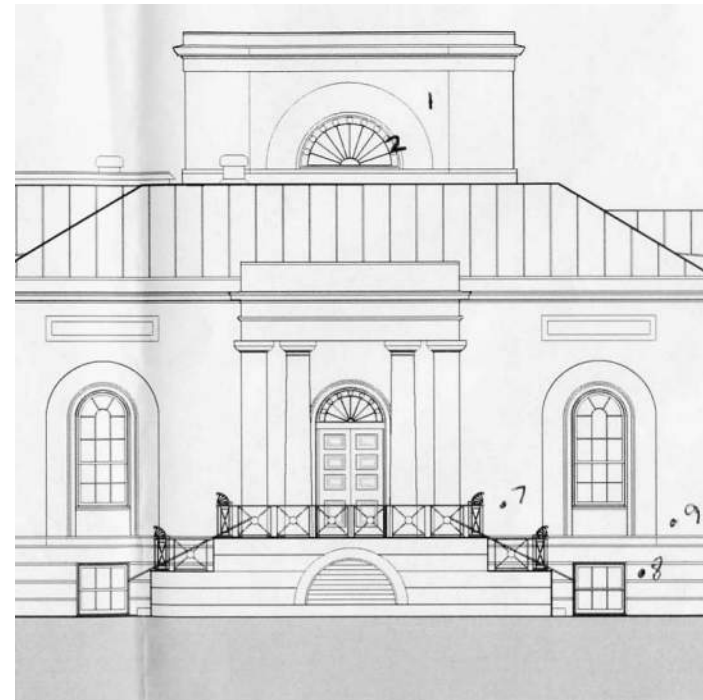
Lower Level

1. Wood Trim: HC-80 Bleeker Beige
2. Wall: HC-34 Wilmington Tan
3. Door: HC-80 Bleeker Beige
4. Stucco: HC-34 Wilmington Tan
Trim around Window: 2153-50 Desert Tan
5. Column: HC-34 Wilmington Tan & HC-38 Decatur Buff:
6. Window: HC-80 Bleeker Beige, HC95 Sag Harbour Grey over HC-80
7. Wall (Yellow – 2nd Layer): 2160-50 Oklahoma Wheat
8. Wall (1st Layer): 2160-50 Oklahoma Wheat
9. Wall (1st Layer0): 2160-50 Oklahoma Wheat



Upper Level

1. Wall: HC-28 Shelburne Buff and HC-34 Wilmington Tan
(Yellow overpaint 2160-50 Oklahoma Wheat)
2. Window (currently white): OC-106 Man on the Moon
Window (sample): 2160-40 Acorn Yellow and HC-82 Bennington Grey



CONDITION ASSESSMENT PHOTO KEYNOTES

The following descriptions are keyed to the photos on pages 52-55. The photos exhibit building components in poor condition that are critical items to be addressed. Refer to the keynotes on pages 34-36 for recommended treatments.

Page 51 photos keynotes

1. Copper Roof – Clogged downspout at SE auditorium
2. Copper Roof – Crack in solder at North Auditorium corner internal gutter
3. Copper Roof – Improper sloped solder at sloped side of internal gutter, typical
4. Copper Roof – Improperly soldered cleat and typical missing valley ridge at North Auditorium valley.
5. Copper Roof – Patch at internal gutter, frequent condition
6. Copper Roof – Improper horizontal solder joint at gutter, typical
7. Flat Roof – Seams at Auditorium roof not fully adhered, membrane not fully adhered, and evidence of patches
8. Flat Roof – Roof to copper curb juncture not fully adhered causing moisture under roof
9. Flat Roof – Typical condition: No bleed out at seam, wrinkles in field, and system not fully adhered in seam or field
10. Flat Roof, South - Limited or no bleed out at seams, membrane wrinkles, and patches at seams under tower. Counter-flash all indications of poor installation.
11. Flat Roof, North - Limited or no bleed out at seams, membrane wrinkles, and patches at seams under tower. Counter flash all indications of poor installation.
12. Flat Roof, South – Broken roof hatch, roof patches, and typical poor adhesion.

Page 52 photos keynotes

13. Flat Roof, South – Typical poor adhesion, attempts to patch evident; Ponding is a likely source of water infiltration
14. Flat Roof, South – Poor adhesion at seam, field, and counter flashing at chimney. Horizontal bird screen and height are code violations.

15. Chimney does not have a cap which is a likely source of water infiltration.
16. Flat Roof – Typical poor seam adhesion at chimney cap; Modified bitumen roof at cap is a code violation.
17. Flat Roof – Typical poor adhesion and closure at tower counter flashing.
18. Attic – West elevation, south bay, north corner; Typical evidence of infiltration at internal gutter and downspout
19. Attic – South corner above Auditorium; Evidence of infiltration below internal gutter. One potential source of plaster damage in auditorium.
20. Attic - South Louver; Evidence of wind blown rain infiltration. Screen pattern insufficient to stop insect intrusion.
21. Attic – Typical framing at internal gutter. Water pattern suggests infiltration at top of internal gutter during heavy rains.
22. Attic – Typical of multiple conditions indicating water infiltration at flat roof
23. Attic - Typical indication of water infiltration from flat roof running down framing to roof perimeter. One potential source of plaster damage.
24. Attic - South Valley above Auditorium; Typical indication of water infiltration from flat roof running down framing to roof perimeter. One potential source of plaster damage at auditorium

Page 53 photos keynotes

25. Auditorium – Fabric on fixed seating from 1981 renovation is stained and faded and needs to be replaced.
26. Auditorium - Evidence of water damage from attic/ roof at stage ceiling
27. Auditorium – Window casing plaster is damaged due to water infiltration from exterior
28. Auditorium – Corner of entablature at stage shows signs of water infiltration from roof / attic.
29. Auditorium – Exit door plaster base damaged by water infiltration.
30. Auditorium – Exit door plaster base damaged by water infiltration.

31. Auditorium – Evidence of water damage to fabric panels and wall trim
32. Lower Level Entry 112 - Condensation at supply; See Mechanical Report
33. Lower Level Conference Room 118 - Evidence of water infiltration from porch slab to building juncture above
34. Lower Level Electrical room 138- Evidence of foundation waterproofing problem
35. Lower Level Meeting room 139 – Evidence of foundation water proofing problem at base.
36. Lower Level Secretarial Area 109- Moisture damage to carpet; Source may be foundation waterproofing and / or slab.

Page 54 photos keynotes

37. Lower Level Entry 112 - Floor curl indication of moisture content in slab exceeds recommended levels
38. Lower Level Entry 112 – Rotten door
39. Lower Level Entry 112- Rotten door sill
40. Typical wood condition at windows and doors
41. Auditorium exit, SE – Exceeds 1/2 in. maximum allowed by NFPA and ADA.
42. Auditorium stage exit, East - Exceeds 1/2 in. maximum allowed by NFPA and ADA.
43. Auditorium stage exit, NE - Exceeds 1/2 in. maximum allowed by NFPA and ADA.
44. West Entry doors - Exceeds 1/2 in. maximum allowed by NFPA and ADA.
45. Lower Level Entry 130 – Exceeds 1/2 in. maximum allowed by NFPA and ADA.
46. East entry doors - Exceeds 1/2 in. maximum allowed by NFPA and ADA.
47. Lower Level Entry 112 – Exceeds 1/2 in. maximum allowed by NFPA and ADA.

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20



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ACADEMY OF MEDICINE - CONDITION ASSESSMENT

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MECHANICAL SYSTEMS NARRATIVE

SYSTEM DESCRIPTION

Lower Level

The Office Areas are cooled with one 12.5-Ton Direct Expansion (DX) split type unit. The air handling unit is located in the main mechanical room with ducted supply and return.

The Answering Service area is cooled with a 2.5-Ton Direct Expansion (DX) split type unit, with ducted supply and return. The air handler is located in the ceiling space.

Outside air supply is not provided to these two systems.

Associated Air Cooled Condensing units cooling these two systems are located in the court yard.

The Restrooms adjacent to the main mechanical room are ventilated with one ceiling mounted cabinet fan. Exhaust air is ducted to the outdoors. Men 101 and Women 102 are served by one roof mounted exhaust fan.

The elevator machine room is ventilated with an in-line exhaust fan located in the attic. Exhaust air is discharged in front of the attic louver and not ducted directly to the outdoors.

The Auditorium, located on the Upper Level, is cooled with a 20 ton water cooled air handling unit fitted with a water side economizer and circulating pump, located in the main mechanical room. The supply and return air are ducted to the air handling unit. Outside air supply is ducted to the return air plenum of the air handler.

The Cooling Tower serving the Auditorium air handling unit is located in the court yard.

The Condensate Drain from all air handlers are pumped to an unknown location.

Upper Level

Meeting Room A, the Service Kitchen, the south end of the Foyer and adjacent areas are cooled with one 12.5-Ton Direct Expansion (DX) split type unit. The air handling unit is located in the attic above with ducted supply and return. The outside air supply is obtained from the ventilated attic and not directly from the outdoors.

The exhaust hood in the Service Kitchen has filtered make-up air also drawn from the ventilated attic. A 20 KW electric heater heats the kitchen hood make-up air during the winter. The exhaust air is ducted to a roof mounted exhaust fan.

Meeting Room C, Hall, Men and Women Restrooms are cooled with one 7.5-Ton Direct Expansion (DX) split type unit.

Meeting Room B is served with one 2.5-Ton Direct Expansion (DX) split unit.

These two air handling units are located in the attic above with ducted supply and return. The outside air supply is obtained from the ventilated attic and not directly from the outdoors for the Meeting Room C unit. Outside air supply is not provided for the unit serving Meeting Room B.

Associated Air Cooled Condensing units serving these three systems are located in the court yard.

The Restrooms are ventilated by a roof mounted exhaust fan.

The condensate Drain from all air handlers are pumped to an unknown location.

The Upper and Lower Levels are heated by a hot water, gas-fired boiler, using wall mounted radiators. There is no outside air provided during heating.

EQUIPMENT CONDITION

Lower Level

Split systems serving the Office areas and the Answering Service area appeared to be approximately 20 years old and with a low efficiency rating. These systems have reached the end of their useful life and should be replaced along with provisions to obtain outside air supply directly from the outdoors.

The water cooled air handling unit serving the Auditorium appeared to be approximately 10 years old and in good working condition. This unit will probably have to be replaced in another 10 years. The associated cooling tower appeared to be approximately 15 years old with corrosion on the casing and fill and should be replaced. The circulating pump appeared to be in good working condition. The motor of the circulating pump has been replaced recently.

The Restrooms exhaust fans appeared to be in good working condition.



The hot water boiler, associated piping and wall mounted radiators are approximately 40 years old. The boiler has reached the end of its useful life and should be replaced.

If the existing air handling units are replaced, the new units should be provided with hot water heating coils served by the hot water boiler. The existing radiators and associated piping should be removed.

Upper Level

Split systems serving the Meeting Rooms A and C appeared to be approximately 20 years old and with a low efficiency rating. These systems have also reached the end of their useful life and should be replaced along with provisions to obtain outside air supply directly from the outdoors.

Condensing unit serving the Meeting Room B is relatively new and could be reused, depending on replacement system type. Associated air handler should be replaced.

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The make-up air for the exhaust hood in the Service Kitchen should be obtained directly from the outdoors. The associated exhaust fan and the Restrooms exhaust fans appeared in good working condition.

INSULATION CONDITION

Ductwork insulation appears to be fiberglass with foil reinforced Kraft (FRK) external lining and is in poor condition in some places. Insulation should be replaced on approximately 20 feet of the supply duct serving the Auditorium air handler and approximately 60 feet of the supply ducts on the three air handlers in the attic. All return air ductwork in the attic should be insulated. In addition, some portions of the exposed supply ductwork are not insulated. Duct sealant should be evaluated to determine if hazardous materials are present.

HVAC ZONING

The zoning for these areas seem to be adequate for the present use.

Zoning should be reevaluated if additional meeting spaces, up dated kitchen and support areas are planned in the future. Properly sized equipment should be provided to handle the additional load and significant amounts of outside air required with the possible use of CO2 monitoring.

A new energy recovery ventilator unit, installed in the attic, should be installed to provide outside air supply to meet code requirements. The outside air intake should be ducted to all the air handling units. Toilet and general exhaust should be ducted to the outdoors.

CODE VIOLATIONS

The outside air supply is obtained from the ventilated attic and not directly from the outdoors for the units located in the attic. The unit serving the Office Areas and the unit serving the Answering Service Area on the Lower Level have no outside air supply provided. The unit serving Meeting Room C on the Upper Level has no outside air supply provided.

Make-up air for the Service Kitchen hood is obtained from the ventilated attic and not directly from the outdoors.

The elevator machine room exhaust air is not ducted directly to the outdoors.

Fire dampers are missing on the supply and return ductwork penetrating the walls of the main mechanical room on the Lower Level where the gas-fired boiler is located.


OTHER

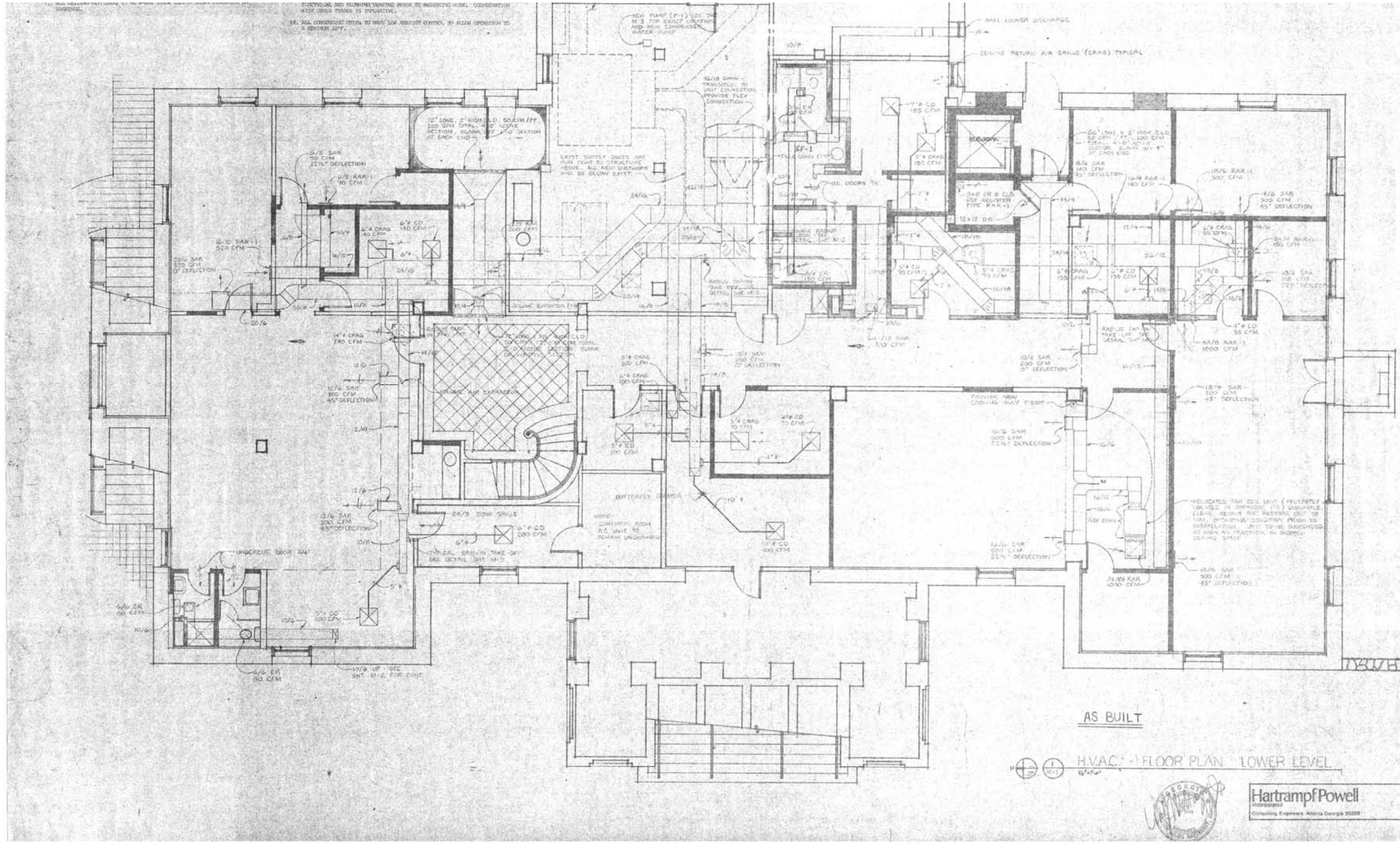
Equipment conditions noted are based on a visual inspection only. Functional testing was not a part of this study and therefore visual appearance may not reflect actual equipment operability. Functional testing may be recommended only for the equipment to remain.

Two of the Air Cooled Condensing units located in the court yard appeared to be abandoned in place and not serving an associated air handler.

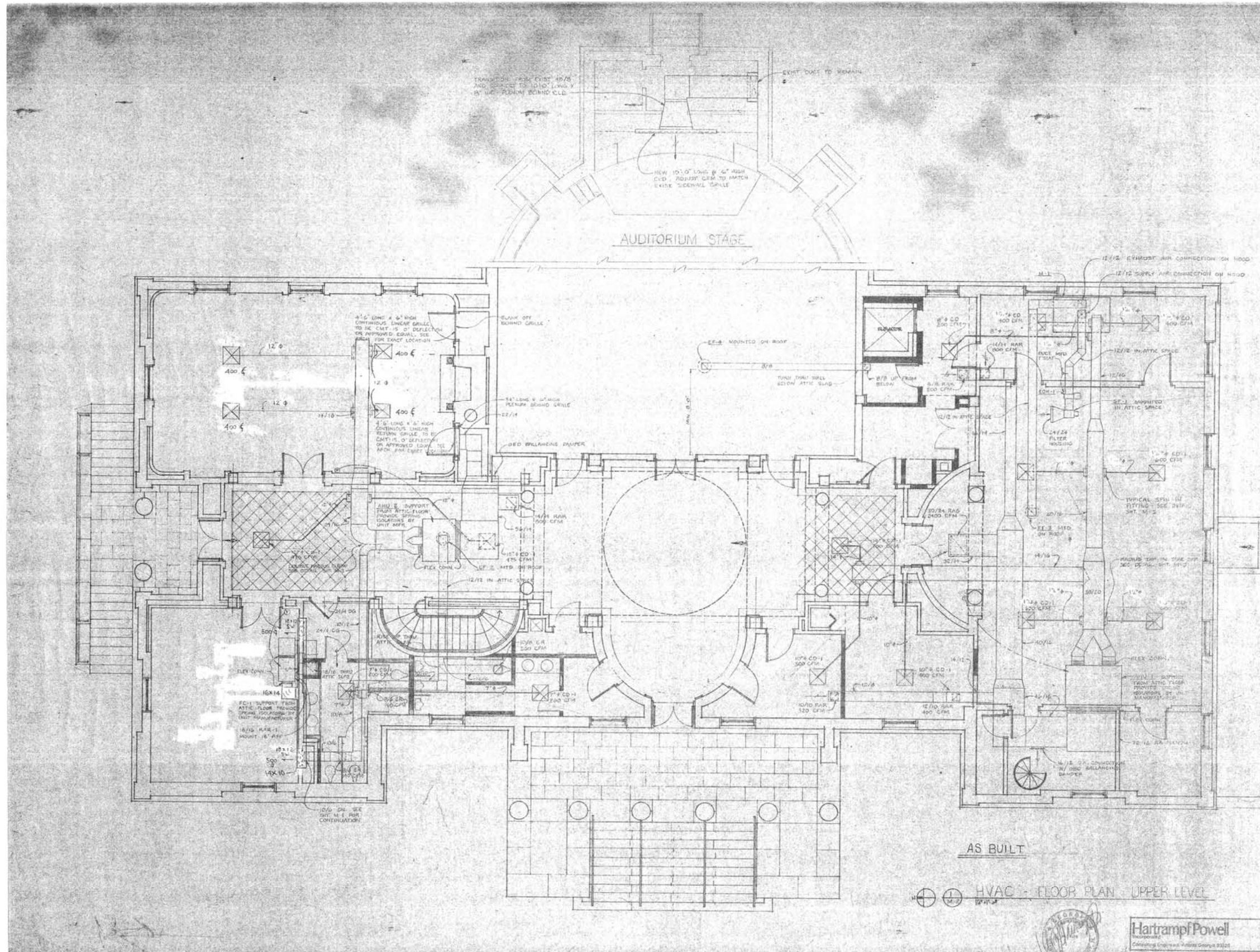
Condensation was noted on two sidewall supply grilles serving the vestibules and also on hallway ceiling. It appears that when the vestibule doors to the outside are open, outside air condenses on the cold surface of the supply grilles. Storage room 115 has a mossy/mold smell. This should be investigated.

The condensate drain pumps from all the air handlers in the attic could be omitted and possibly taken by gravity down to the main mechanical room in the basement and discharged into the floor drains if piping route is available. Air handlers in the main mechanical room could also be discharged into the floor drains.

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		875 WEST PEACHTREE STREET NE ATLANTA, GEORGIA 30309		MECHANICAL LOWER LEVEL PLAN	
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AS BUILT

HVAC - FLOOR PLAN UPPER LEVEL



ACADEMY OF MEDICINE - CONDITION ASSESSMENT

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TITLE

MECHANICAL UPPER LEVEL PLAN

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ELECTRICAL SYSTEMS NARRATIVE

ELECTRICAL SERVICE AND DISTRIBUTION

The building is served from pole mounted utility transformers located on 7th Street. Electrical service is routed underground to the lower level. Utility meter is located in lower level mechanical room. Service voltage is 120/208V, 3 phase, 4 wire. Service disconnect is a 800A main breaker in panel "SP" located in the lower level Mechanical Room.

Majority of the mechanical equipment is served from service panel "SP" located in lower level Mechanical Room. Lower level outlets and lights are served from sub panel "LA" located in lower level Mechanical Room. Upper level outlets and lights are served from sub panel "LB" located in upper level Storage Closet and from sub panel "LC" located on stage. Condition of electrical equipment is average and was installed during a 1980's restoration. There was no evidence of antique electrical equipment or wiring still in use.

LIGHTING

Lights are a mixture of fluorescent, incandescent, HID, and quartz lamps. The lights are in average condition. Lower level lights are not in as good a condition as upper level lights. Some lights are missing trim rings and some have broken lenses. Upper level Auditorium has a dimming system that has been abandoned or bypassed. Auditorium and stage lights are now "on"/"off" only. Exterior lights consist of wall mounted fixtures at rear entries and recessed fixtures above main entries. Parking lot lighting consists of several "shoe box" style fixtures mounted on poles controlled by a time clock. Emergency lighting consists of battery operated fixtures mounted on walls throughout building. Exit signs are battery powered as well. Both are in average condition but some are not operational.

FIRE ALARM


Fire alarm system is a Simplex model 2001 installed during a 1980's renovation. This is a conventional "hard wired" system. Fire alarm

system consists of pull stations, smoke detectors, speaker strobe units and speaker horn units.

RENOVATION RECOMMENDATIONS AND OBSERVATIONS

1. Any renovation should include new light fixtures for energy efficiency.
2. Recommend installation of a new dimming system for stage lighting.
3. Most exit signs and emergency fixtures are not operational. Recommend fixtures and exit signs be replaced with modern units with more reliable and longer lasting batteries. Exit signs should be replaced with signs that have LED lamps for energy efficiency and longer lamp life.
4. Due to the age of the fire alarm system, at a minimum, Roberds Consulting Engineers recommend a full system test by the manufacturer noting any deficiencies. The current fire alarm strobe devices do not comply with ADA requirements. If possible, Roberds Consulting Engineers recommends an addressable system replace the existing "hard wired" system during any major renovation. Addressable systems are easier to maintain and trouble shoot.
5. Recommend metal cover plates be installed during any educational oriented renovation for durability.
6. Recommend installation of a lightning/surge suppression device on the service entrance.
7. Recommend an infrared scan of all electrical panels to look for loose connections when the building is under normal load conditions.
8. Type of lighting that can be installed on the lower level will be limited due to minimal clearance available above ceiling.

9. Cable television equipment or wiring was not found. A renovation may need to include conduit for a cable television service if so desired.
10. Recommend convenience lighting to be installed in attic area.

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DATA/VOICE SYSTEMS NARRATIVE

VOICE

The current main telephone room is "Storage 138". There are two 4" conduits entering the outside wall and are routed outside the building to the local Telco site connection. One conduit is empty and the other has a 200 pair UTP cable from the Telco. The 200 pair goes through a transition enclosure and is converted into two 100 pair cables. Those are routed to two, 100 pair lightning protection boxes. Some (approximately 30) of the lightning protection modules are missing. The 200 pair is then routed from the lightning protection to 66 blocks for building distribution.

The main telephone room, "Storage 138", has wall mounted 66 block distribution frames, routing spools, and an old key system not in use. There are multiple backbone cables leaving the room to provide distribution throughout the building. Some of the backbone cables are routed to existing tenants within the building. These areas could not be reviewed.

The backbone cabling system that could be verified includes:

- 100 pair cable to "Storage 115"
- Two 50 pair cable to the Auditorium stage
- 50 pair cable to the attic

Backbone cables are terminated onto 66 blocks at both ends.

"Storage Room 115" has a key system - Nitsuko Corporation, Model DX2NA-32 system. There are horizontal 66 blocks that appears to be serving the "Secretarial Area 109" and surrounding offices.

Phone jacks/outlets in the building are old and some are hanging outside the wall. Many are recessed, but some are surface mounted with wiremold running around and up walls. All cabling appears to be standard voice grade UTP.

The Upper Level has limited telephone outlets. Some of the spaces have no voice connectivity.

DATA

"Computer Room 116" houses all of the data connections. There is one, Category 5, 12 port wall mounted patch panel mounted at 5' AFF and five, 2 jack, Category 5 outlets located at 18" AFF. These data jacks serve the "Secretarial Area 109" and surrounding offices. The Upper Level and Auditorium areas do not have any data installed.


GENERAL

All cables, Voice and Data, Horizontal and Backbone have been installed laying on the existing lay-in ceiling or routed through over and around mechanical equipment and structural members. None appear to be directly supported or protected.

RENOVATION RECOMMENDATIONS AND OBSERVATIONS

1. Existing 200 pair cabling from Telco appears to be working. Any missing and/or faulty lightning protection modules should be replaced. Telco should test all 200 pair to verify they are in working condition.
2. Because the existing voice equipment is voice grade, it is recommended that all horizontal and backbone voice cables are removed. Also remove all voice 66 blocks.
3. Since all the data equipment is rated at Category 5 it is recommended that all data cables and equipment are removed.
4. Recommend during renovation that both data and voice system be installed to current Georgia Tech guidelines. "Computer Room 116" would be an ideal location due to it's size and proximity to the center of the building. Install during renovation, a Category 3, high pair count backbone voice cable from the main telephone room to "Computer Room 116" and terminate onto Category 3, 110 blocks.
5. Recommend that all surface mounted wiremold and outlets that are to be reused be removed and replaced with recessed outlets.

6. Recommend that all installed cable be supported using Georgia Tech approved devices.
7. NEC requires that all cables that are abandoned and not to be used for future, be removed. Also, any cables that are not currently used, but to be used for future shall be labeled.

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PLUMBING NARRATIVE

SYSTEM DESCRIPTION

Plumbing Fixtures:

Existing water closet fixtures are a combination of floor mounted tank type and floor mounted flush valve. Tank type water closets are located on the Lower Level and flush valve type on the Upper Level. Urinals are wall hung flush valve type. Lavatories are a combination of self rimming counter type and wall hung type. The Lower Level break room includes a self rimming stainless steel sink. The Upper Level kitchen includes a four (4) compartment sink and a wall hung hand sink. There is also a wall type janitor service sink on each level. Plumbing fixtures appear to be around 20 years old. It appears the current flow rates for the flush valves (1.6 gallon per flush for water closets, 1.0 gallon per flush for urinals) and showers (2.5 gpm) comply with the current plumbing code requirements; however they are not high efficiency type. There are products on the market that have lower water flow rates. Existing public bathroom lavatories have either 2.2 gpm aerators or no aerator at all. Current plumbing code requires public lavatory faucets to have 0.5 gpm aerators. The shower valve consists of a handle for the cold water and one for the hot water. Current code requires a balanced-pressure, thermostatic or a combination balanced-pressure / thermostatic valve at the shower control. Most of the fixtures in the public restrooms do not appear to meet current ADA requirements. ADA lavatories and sinks do not have offset drains or insulation kits on hot water and drain pipes as mandated by Georgia Accessibility Code. Flush valve type water closets on the Upper Level did not appear to flush properly as they did not wash out the entire bowl.

Domestic Water:

Domestic water piping enters the building in the mechanical room on the Lower Level. The piping out of the slab and entering the building is 2" copper. The domestic water rises out of the slab through a main shut-off valve and a pressure reducing valve and then reduces to a 1-1/2" size. The 1-1/2" domestic water serves the building water supply. A 3/4" cold water line enters the domestic water heater and a 1-1/4" hot water line serves the building hot water.

There is not a backflow preventer (BFP) on the main cold water piping within the building. Verification is needed to see if there is a backflow preventer on water piping between the building and public main water supply line by determining if there is an existing BFP vault in the same location as the building water meter.

The exterior portion of the domestic water piping looks to be in good condition. The water piping appears to have been replaced during the 1983 renovation. The piping joints may contain lead solder. Also, noticeable staining has occurred on the vitreous china plumbing fixtures. Existing domestic water piping is not insulated.

Domestic Water Heating:

Domestic hot water is generated by a 40 gallon, natural gas fired, tank type heater within the Lower Level mechanical room. The heater appears to be around 12 – 15 years old and at the end of its useful life. The existing 40 gallon heater appears to be undersized for the kitchen four (4) compartment sink. There is also a 50 gallon water heater located near the door of the Lower Level mechanical room which is abandoned and no longer in use.

The existing water heater piping arrangement does not meet current International Plumbing Code requirements. There is not a thermometer installed on the existing system and therefore water temperature to the building was not determined. Also, there is not a mixing valve on the hot water piping system to limit the temperature of water to the plumbing fixtures. There are no water mixing valves observed in the building on hot water piping serving public lavatories. Per the current plumbing code, all public hand washing facilities are required to have a mixing valve conforming ASSE 1070 standard to limit the hot water temperature to a maximum of 110°F.

Sanitary Sewer, Waste and Vent:

Existing sanitary, waste and vent piping above grade appears to be a combination of hub & spigot and no-hub type cast iron piping. There is an existing floor drain located in the Lower Level mechanical room and in the lower level public restrooms. The Upper Level restrooms and the kitchen area do not contain floor drains. The existing kitchen does appear to include a safe waste system and master trap as required by Georgia Amendments to the International Plumbing Code. The existing kitchen does not appear to include a grease trap. Condensate drains from HVAC units have been routed into

condensate pumps and then pumped outside of the building. Floor drain in the Lower Level mechanical room does not appear used.

Rainwater:

Existing rainwater piping above grade appears to be a combination of hub & spigot and no-hub type cast iron piping. There are various interior rainwater drains throughout the building from the existing gutter system. The rainwater drain that was observed within the attic space is 2" cast iron. There are reports of various rainwater leaks and standing water within the gutter system. Johnson Spellman & Associates (JSA) suspects various drains or portion of the piping system may be clogged.



Natural Gas:

There is an existing gas meter near the exterior courtyard on the east side of the building. The existing meter appears to deliver 5 psi gas to the building. There are step-down regulators interior to the building to reduce the 5 psi pressure down to a lower pressure as required at each piece of equipment. The existing piping is black steel with threaded fittings. Natural gas appears to serve the HVAC boiler, domestic water heater, the stove in the kitchen and a natural gas fireplace. There are concerns about leaking gas around the fireplace.

RECOMMENDATIONS

Plumbing Fixtures:

The replacement of all existing plumbing fixtures is recommended. Due to 1-1/2" water pipe size within the building, we recommend replacing the Upper Level water closets with tank type models in lieu of flush valve type models. Lavatory faucets and aerators should be replaced to meet current plumbing code requirements of 0.5 gpm flow rate. Shower valve should be replaced with code a required balanced-pressure, thermostatic or a combination balanced-pressure / thermostatic valve at the shower control. ADA fixtures should be replaced to meet current Georgia Accessibility Code requirements including offset drains and insulation kits.

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Domestic Water:

Johnson Spellman, and Associates (JSA) suggests draining the water from the domestic water piping system and placing an air pressure test on the existing system to verify there are no leaks. Domestic water should be drained from various outlets in the building and the water tested for lead. If lead is found in the existing system, JSA recommends the existing domestic water piping be replaced. The domestic water piping should be insulated to prevent condensation on the cold water system and stand-by heat losses on the hot water system. JSA also recommends a circulating system be incorporated or addition of heat trace to maintain the hot water supply temperature at the fixtures.

If a backflow preventer is not installed within the water piping between building and public main water supply line, then a line size BFP should be added interior to the building where it enters the Lower Level mechanical room.

Domestic Water Heating:

Replacement of the existing 40 gallon water heater and associated piping is recommended. New water heater should be sized to include the kitchen area. 140°F water should be provided to the four (4) compartment sink in the kitchen and a mixing valve should be included to provide hot water to the hand washing areas and the remainder of the building. Code required safety devices should be included in the system such as a vacuum relief valve, a T&P relief valve, and an expansion tank. All public hand washing facilities should include a mixing valve conforming ASSE 1070 standard to limit the hot water temperature to a maximum of 110°F. Temperature maintenance should be included in the domestic water heating system in the form of either a circulation pump system or temperature maintenance cabling.

As an alternate, tankless heaters could be located throughout the building to provide hot water to the fixtures.

Sanitary Sewer, Waste and Vent:

Existing under slab sanitary piping system should be investigated to verify it is draining properly. The floor drain in the Lower Level

mechanical room does not appear to be used and we question if it is draining properly. JSA recommends eliminating the condensate pumps at the HVAC units in locations where the condensate can be gravity drained into the sanitary sewer system. The condensate drains could terminate over mechanical room floor drains or service sinks.

JSA recommends adding a grease interceptor to the four (4) compartment sink in the kitchen. The city has a requirement for two (2) 1500 gallon grease traps located outdoors but may grant a waiver to this requirement and allow an indoor interceptor if there is not a dishwasher or a disposer within the kitchen.

Rainwater:

All existing roof drains should be inspected to verify they are not clogged. All rainwater piping should be investigated to verify it is draining properly. Size of the existing roof drains and associated piping should be verified to confirm they meet sizing requirements based on the area of roof served by each drain. Further information, (such as roof plan with drain locations, area of roof each drain receives, any vertical building portion draining onto roof) would be needed to determine the proper size of each drain.

Natural Gas:

Natural gas piping appears to be in good shape. Gas piping should be modified to accommodate any new requirements within the building such as a new water heater.


PLUMBING CODE REQUIREMENTS

JSA's understanding of the International Building Code is that if alterations are done within the building, then the plumbing systems will need to meet current codes. This would require either modifying one of the existing Men and Women bathrooms to meet Georgia Accessibility Requirements or an addition of a new unisex ADA restroom. This would also include replacing lavatory faucets and aerators to meet current plumbing code requirements of 0.5 gpm flow rate. Shower valve should be replaced with code a required balanced-pressure, thermostatic or a combination balanced-pressure

/ thermostatic valve at the shower control. Also, the two (2) tank type water closets on the Lower Level near the dressing rooms do not appear to be elongated type as required per current plumbing code.

FIRE PROTECTION

The building is not sprinklered.

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PLUMBING NARRATIVE

Plumbing Fixtures Calculations

Plumbing Fixture Calcs Per Table 403.1 of 2006 IPC					
	WC and Urinals		Lavatories		DF's
	Male	Female	Male	Female	
Min # Required Plumbing Per Person	65	75	200	200	200
Upper Level Banquet	87	87	87	87	173
Required Fixtures	1.33	1.15	0.43	0.43	0.87
Min # Required Plumbing Per Person	125	65	200	200	200
Upper Level Other/Lecture Hall	150	150	150	150	299
Required Fixtures	1.20	2.30	0.75	0.75	1.50
Min # Required Plumbing Per Person	125	65	200	200	200
Existing Lower Level Meeting	70	70	70	70	140
Required Fixtures	0.56	1.08	0.35	0.35	0.70
Min # Required Plumbing Per Person	25	25	25	25	40
Existing Lower Level Office	30	30	30	30	59.07
Required Fixtures	1.18	1.18	1.18	1.18	1.48
Total required for Building	4	6	3	3	2
Actual Count For Building	6	5	3	4	0
Surplus/(Deficiency)	2	(1)	0	1	(2)
<p>Occupancies are based on 2006 IBC. Future expansion of meeting areas in lower level will require expanding and upgrading existing rest room facilities to meet applicable plumbing codes, ADA, and the Georgia Accessibility Code. Current codes do not require/mandate increasing the fixture count or upgrading accessibility. It is recommended that a drinking fountain be added in area of lower level where there is plumbing for a fountain.</p>					

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STRUCTURAL SYSTEMS NARRATIVE

This report summarizes a due diligence survey performed on November 12, 2008 for the Academy of Medicine. The building was constructed in 1941 and renovated in 1981. It is a two story concrete framed structure founded on spread footings with an allowable soil bearing capacity of 4000 psf. The floor construction consists of reinforced concrete joists and beams supported by reinforced concrete columns. The roof is wood framed and supported from the elevated framed slab. The drawings, provided by Jim Winer, indicate that the project architect was Surber + Barber Architects and the Engineer of Record was F.A. Huddell of Atlanta, GA. The structural drawings are dated 5/21/1941. The documents provided for review do not have a state stamp or seal.

The scope of our survey included a limited walk through observation of the roof construction on November 12, 2008 from approximately 8:00 AM till approximately 10:00 AM and review of the available documentation listed below.

SCOPE OF DUE-DILIGENCE SURVEY

The intention of this limited scope survey is to observe and document the general condition of the wood framed roof structure. The purpose of the limited walk-through observation is to, in general, discover and document apparent possible deficiencies in the structural system of the existing roof that are easily visible. This cursory visual observation is not intended to represent a peer review or design check, nor verify the adequacy of concealed and un-inspected portions of the structure.

The physical observation of the structure has been performed without removing or damaging elements of existing construction and, hence, without examination of concealed conditions. The report cannot and will not speculate as to the adequacy of concealed and un-inspected portions of the structure, since the conditions of construction may vary. In addition, information in our report may not be used to extend our conclusions to concealed portions of the building.

The due-diligence survey assumes that all contract documents supplied by others represent the condition of the structure at the completion of construction.

Further, this due diligence report assumes that all design and construction was completed in accordance with all applicable governmental regulations and statutes as well as all standards and practices representing reasonable professional engineering practice at the time of construction. This office shall use all documents provided in good faith as a guide for our review and conclusions. An independent review and verification of information provided will not be made unless specifically stated above.

DOCUMENT REVIEW

According to the structural plans available for review, the typical floor framing consists of reinforced concrete beams, joists and flat slabs. The lateral load resisting system appears to include masonry shear walls. The documents indicate that the foundation system consists of spread footings bearing on soil with an allowable bearing pressure of 4000 psf.

The design loads were not indicated on the drawings reviewed by this office. No governing building code is noted on the drawings. It should be noted that this office cannot confirm the adequacy of the structure to support the anticipated loads within the present scope of our due diligence report.

The following structural drawings were available for review:

- S-1 Foundation Plan, Dated 5/21/41
- S-2 First Floor Framing Plan, Dated 5/21/41
- S-3 Ceiling and Roof Framing Plan, Dated 5/21/41

VISUAL OBSERVATION

The following aspects of the roof structure were observed during our walk-thru:

1. Beam to post connection, (Photograph 01)
2. Post at slab connection, (Photograph 02)
3. Perimeter sill plate connection, (Photograph 03)

4. Water damage at Roof Rafters, (Photograph 04)
5. Ladder, (Photograph 05)
6. Slab Opening at Ceiling/Catwalk, (Photograph 06)

COMMENTS

The roof construction consists of 2x10 wood rafters supported by 4x6 wood beams and 4x4 wood posts. The roof decking is constructed of 1x10 wood planks. The roof appeared to be in good condition. There were however several areas of concern.

First there was no apparent anchorage of the roof structure to the attic framed slab. The rafters appeared to be adequately toe nailed to the supporting 4x6 wood roof beams however the roof beams did not appear to be adequately connected to the 4x4 wood posts. It is recommended that Simpson galvanized straps be installed at these locations. (Ref: Photograph 01). The posts were bearing on 4x4 wood sill plates on the framed slab. These posts and sill plates were not connected to the slab. It is recommended that Simpson galvanized anchors be installed to anchor the posts directly to the slab. (Ref: Photograph 02). The wood 4x4 sills at the perimeter supporting the rafters did not appear to be connected to the slab. It is recommended that Simpson galvanized anchors be installed to anchor the sill directly to the slab (Ref: Photograph 03).

Another area of concern was the visual evidence that the rafters had been exposed to rain water. Although the rafters appeared to be sound it is recommended that any rotten or decayed rafters be replaced. (Ref: Photograph 04).

In addition to the roof construction there were unprotected openings in the attic framed slab. There was no handrail at the ladder opening and the ladder up to the attic does not meet OSHA requirements. There is no clearance between the top rung and adjacent concrete beam. The required distance is 7 inches. This lack of clearance creates a tripping hazard. (Ref: Photograph 05).

There is also no handrail protection at the edge of slab adjacent to the opening over the ceiling and along the catwalk. The catwalk also does not appear adequate to meet code design loads and configuration. It is recommended that handrail be placed at these openings and the design and details of the catwalk be reviewed. (Ref: Photograph 06).

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Photograph 01
Wood Beam to Post Connection



Photograph 03
Wood Sill to Slab Connection



Photograph 05
Ladder



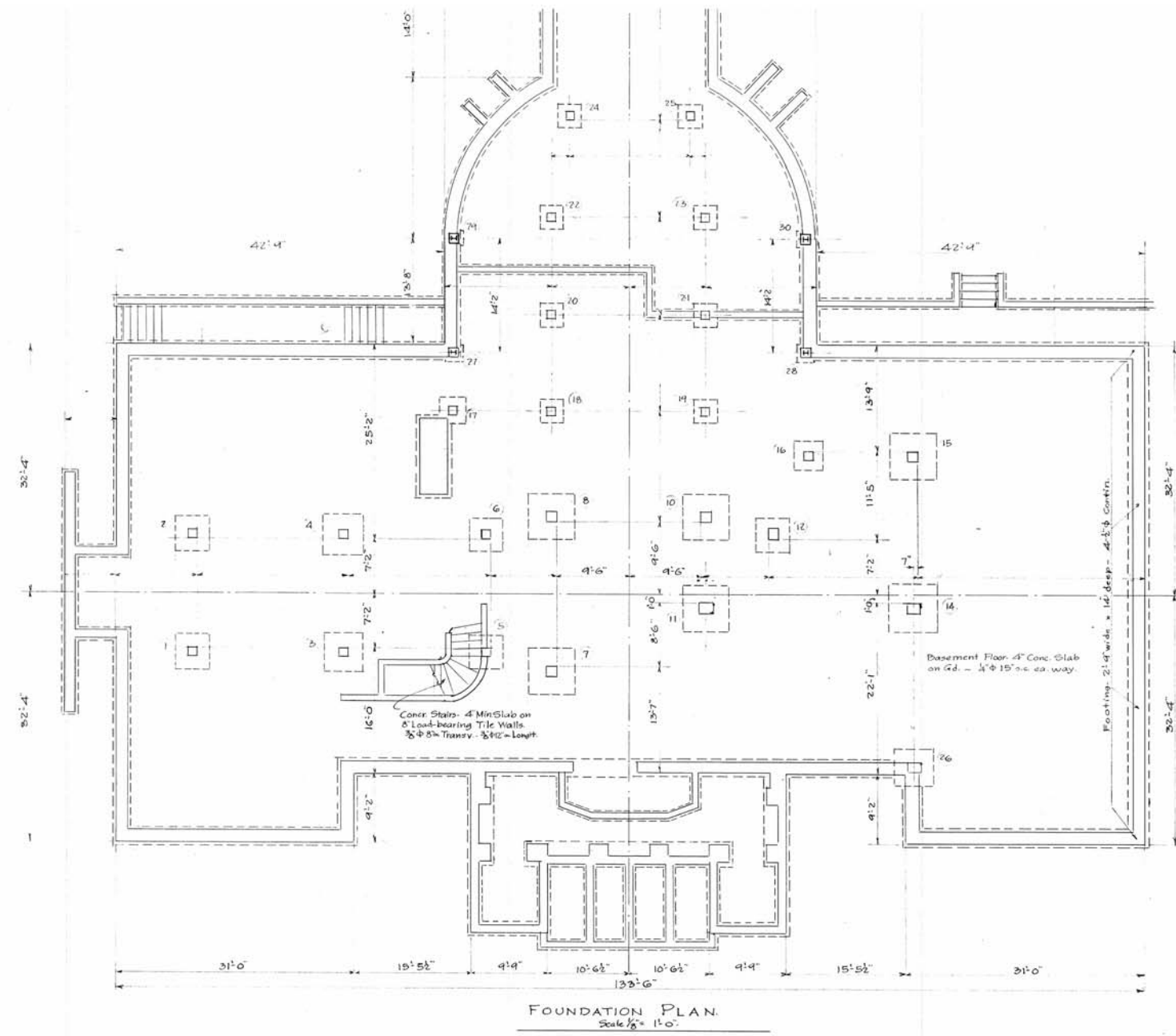
Photograph 02
Wood Post to Slab Connection



Photograph 04
Water damage at roof rafters

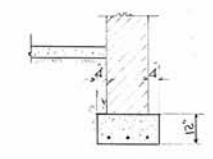
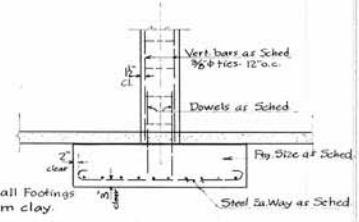


Photograph 06
Slab opening at Ceiling and catwalk



FOUNDATION PLAN.
Scale 1/8" = 1'-0"

Note: All concrete slabs on ground, unless noted otherwise, to be 4" rough conc. + finish, reinf. with 1/2" 15' a.c. ea. way. Outside areas, steps, walls, etc. of concrete, to have 3/8" 12" E.W. See Architectural drawings for details. All Footings have been designed on basis of 4000 #/ft. soil bearing, and footings are to be in all cases carried to firm clay capable of sustaining above loading. Contractor to have two test pits dug at location directed by Architect, if necessary to verify soil conditions, to depth of 3 feet or less. Where footings must be carried to depths more than 3'0" below natural grade, or 2'0" below basement floor, whichever is lower, extras to be allowed at unit rates for brickwork concrete, & excavation to be furnished & approved by the Architect.



Note: All columns, beams and frame slabs to be of 3000 # concrete. All footings, walls and slabs on ground to be of 2500 # concrete.

Note: All wall footings, unless noted otherwise, to be 12" thick 4" proj. ea. side of wall. Footings 2' or wider to have 3-#4 contin. Footings less than 2' wide to have 2-#3 contin.

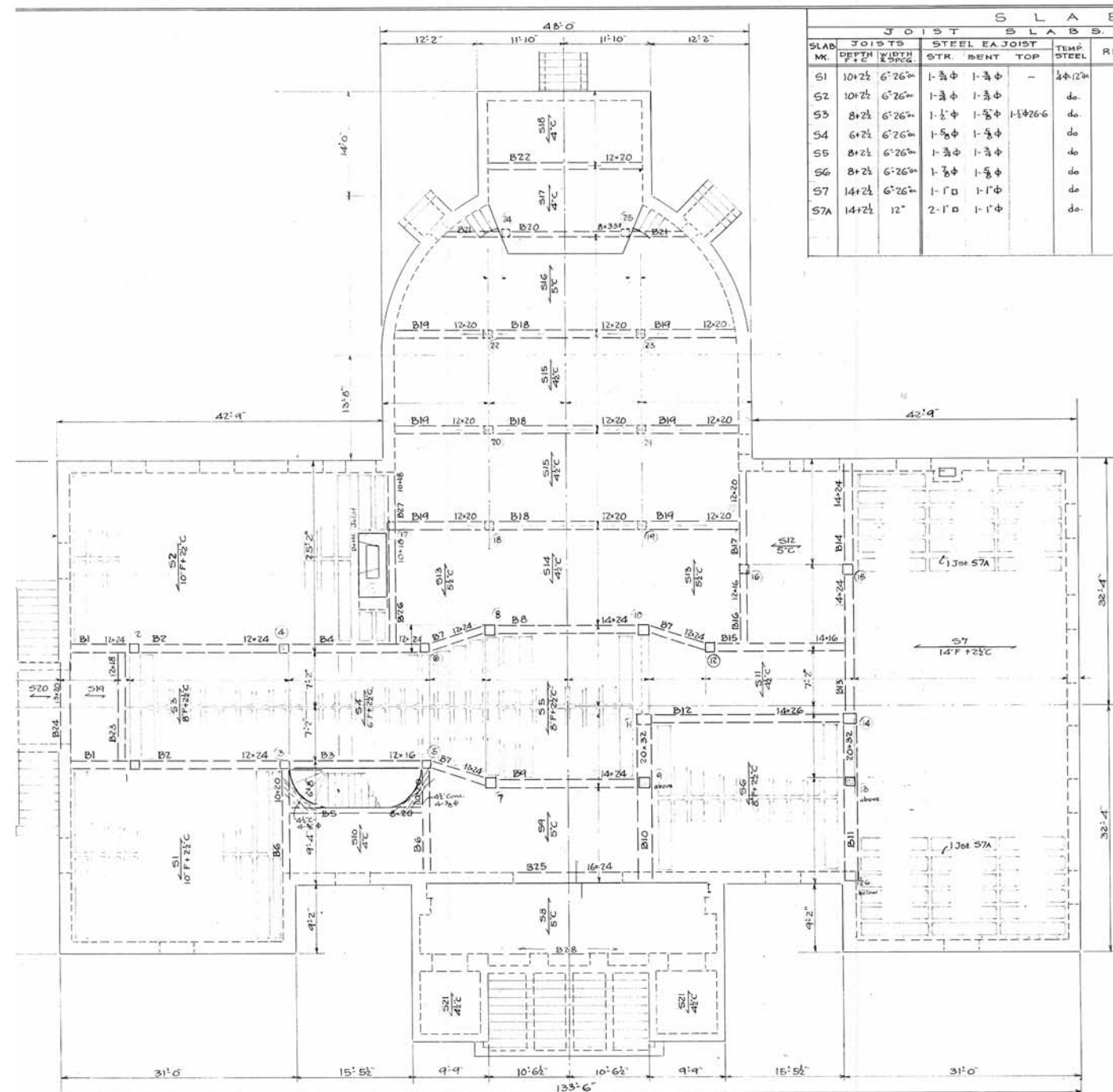
COLUMN & FOOTING SCHEDULE

	1, 2	3	4	5, 6	7, 8, 10	9	11	12	13	14	15	16	17	18, 19, 20, 21, 22, 23	24, 25	26	27, 28, 29, 30
Attic				12x12 4-#5	16x16	16x16		12x12 4-#5									
1st Fl.	12x14 4-#3	12x14 4-#3	12x14 4-#3	12x14 4-#3	16x16 4-#3	16x16 4-#3		14x16 4-#3	14x16 4-#3		14x16 4-#3	12x12 4-#3	12x12 4-#3				
2nd Fl.	12x14 4-#3	12x16 4-#3	12x16 4-#3	12x14 4-#3	16x16 4-#3	20x18 6-#1		14x16 4-#3	20x16 6-#1	14x16 4-#1	12x12 4-#3	12x12 4-#3	12x12 4-#3	12x12 4-#3	20x16 4-#3	20x16 6-#3	16x18 Pier 4-#3
Footings	4-#3x3'0"	4-#3x3'0"	4-#3x3'0"	4-#3x3'0"	4-#3x3'0"	6-#1x3'-6"	4-#3x3'0"		6-#3x3'-16"	6-#0x6'-0+6"	3-#3x3'-14"	3-#4x3'-14"	3-#4x3'-14"	3-#4x3'-14"	3-#0x3'-0+4"	4-#5x1'-5"	6-#3 on Wall Pigs.
Steel Eq. Way.	4-#4x4'-15"	5'-0" 5'-0"+6"	5'-4" 5'-4"+6"	4'-4" 4'-4"+5"	6'-0" 6'-0"+6"	4'-3" 4'-3"+5"	10'-1/2"	8'-1/2"	14'-1/2"	12'-1/2"	7'-3/8"	6'-3/8"	6'-3/8"	6'-3/8"	5'-3/8"	4-#5x1'-5"	6-#3 on Wall Pigs.



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875 WEST PEACHTREE STREET NE
ATLANTA, GEORGIA 30309

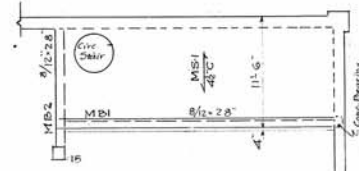
TITLE	
STRUCTURAL - HISTORIC FOUNDATION PLAN	
DATE	SHEET NUMBER
11.21.08	67



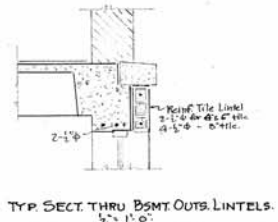
FIRST FLOOR FRAMING PLAN.
Scale 1/8" = 1'-0"

SLAB SCHEDULE										
JOIST SLABS					SOLID SLABS					
SLAB NO.	JOIST DEPTH	JOIST WIDTH	STEEL EA JOIST	TEMP. STEEL	REMARKS	SLAB NO.	DEPTH	MAIN REINF.	TEMP. STEEL	REMARKS
			STR. BENT TOP					STR. BENT TOP		
S1	10x24	6'26"	1-3/8" 1-3/8"	-	do.	S8	5"	1/2" 1/2"	AH 6"	3/8" 18"
S2	10x24	6'26"	1-3/8" 1-3/8"	-	do.	S9	5"	1/2" 1/2"	- 6"	do.
S3	8x24	6'26"	1-1/2" 1-3/8"	-	do.	S10	4"	1/2" 1/2"	- 10"	do.
S4	6x24	6'26"	1-5/8" 1-5/8"	-	do.	S11	4 1/2"	1/2" 1/2"	- 8"	do.
S5	8x24	6'26"	1-3/8" 1-3/8"	-	do.	S12	5"	1/2" 1/2"	- 8"	do.
S6	8x24	6'26"	1-3/8" 1-5/8"	-	do.	S13	5 1/2"	1/2" 1/2"	- 5"	do.
S7	14x24	6'26"	1-1" 1-1"	-	do.	S14	4 1/2"	1/2" 1/2"	- 6"	do.
S7A	14x24	12"	2-1" 1-1"	-	do.	S15	4 1/2"	1/2" 1/2"	- 6"	do.
						S16	5"	1/2" 1/2"	- 6"	do.
						S17	4"	3/8" 3/8"	- 7"	do.
						S18	4"	3/8" 3/8"	- 8"	do.
						S19	4"	3/8" 3/8"	- 8"	do.
						S20	4"	3/8" 3/8"	- 8"	do.
						S21	4 1/2"	1/2" 1/2"	- 9"	do.
						S22	4 1/2"	1/2" 1/2"	- 6"	do.
						M51	4 1/2"	1/2" 1/2"	- 6"	do.

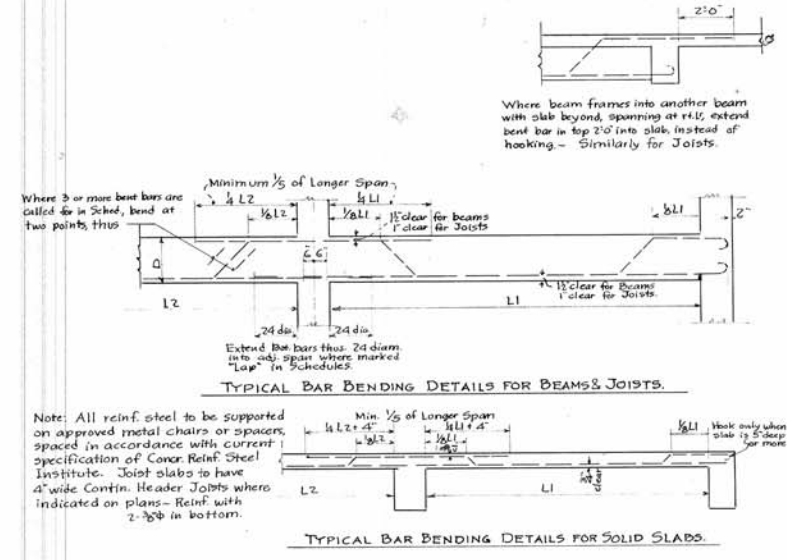
BEAM SCHEDULE									
BEAM	SIZE	STEEL - EACH BEAM				REMARKS			
		STRAIGHT	BENT	TOP	SPC EA END				
B1	12 24								
B2	12 24	2-1" 0	2-1" 0						
B3	12 16	2-3/8"	2-3/8"						
B4	12 24	2-1" 0	2-1" 0						
B5	8 20	1-1 1/8"	1-1" 0						
B6	10 20	2-1" 0	1-1" 0						
B7	12 24	2-5/8"							
B8	14 24	2-1" 0	2-1" 0						
B9	14 24	2-1 1/8"	2-1" 0						
B10	20 32	5-1 1/4"	4-1 1/8"						
B11	20 32	5-1 1/8"	4-1" 0						
B12	14 26	2-1 1/8"	2-1 1/8"						
B13	14 24	2-1" 0	2-1 1/8"						
B14	14 24	2-3/8"	2-1" 0						
B15	14 16	2-3/8"	2-1" 0						
B16	12 16	2-5/8"	2-3/8"						
B17	12 20	2-3/8"	2-3/8"						
B18	12 20	2-3/8"	2-3/8"						
B19	12 20	2-5/8"	1-3/8"						
B20	8 33 1/2	1-1" 0	1-3/8"						
B21	8 16	1-3/8"	1-5/8"						
B22	12 20	2-1" 0	1-1" 0						
B23	10 18	2-3/8"	1-3/8"						
B24	13 20	2-3/8"	1-3/8"						
B25	16 24	3-1" 0	2-1" 0						
B26	10 18	1-3/8"	1-3/8"						
B27	10 18	2-1/2"	-						
B28	24 12	3-1/2"	-						
M1	9/12 28	2-1" 0	2-1" 0						
M2	9/12 28	2-1" 0	1-1" 0						

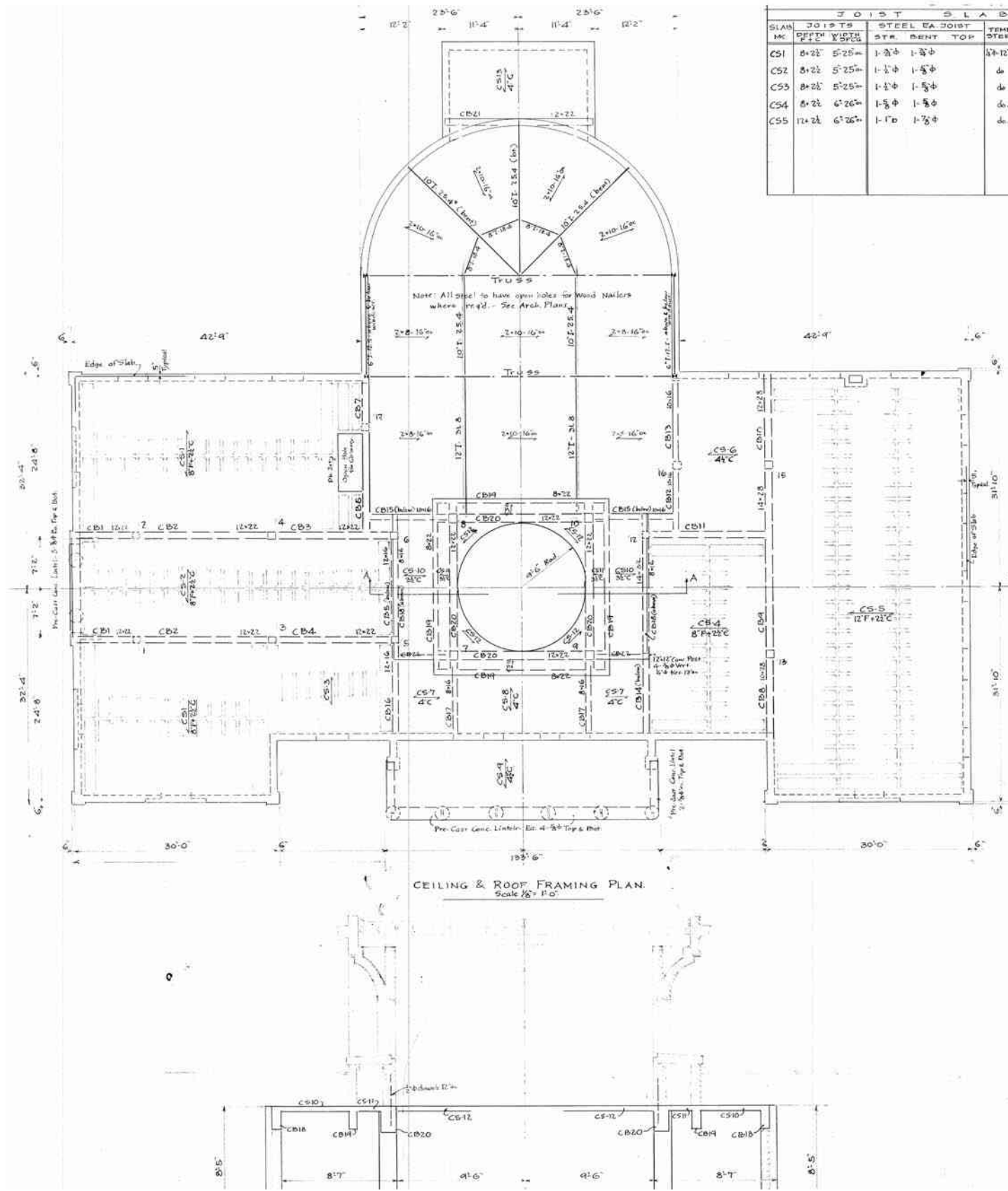


MEZZ FLOOR FRAMING
1/8" = 1'-0"



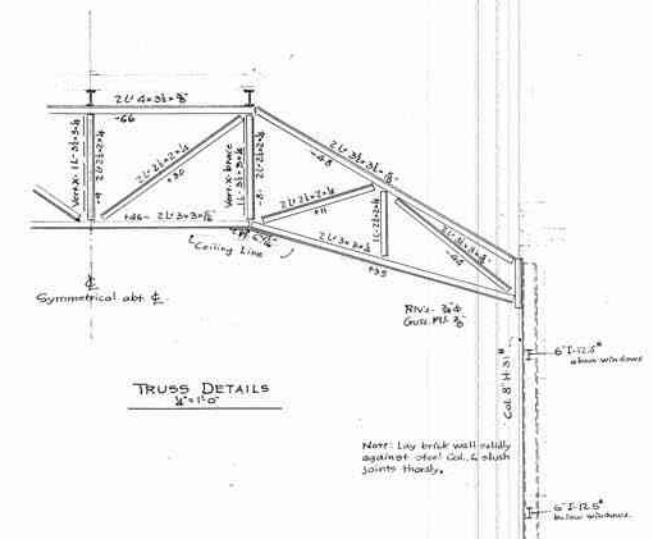
TYP. SECT. THRU BSMT. OUTS. LINTLS.
1/8" = 1'-0"





JOIST SLABS					SOLID SLABS					
SLAB NO.	JOIST WIDTH (FT)	JOIST SPACING (FT)	STEEL STR.	CONCRETE TOP	SLAB NO.	DEPTH (FT)	MAIN REIN. STR.	BENT REIN. STR.	TEMP. STEEL	REMARKS
CS1	8'-2 1/2"	5'-2 1/2"	1-3/8"	1-3/8"	CS6	4'	1/2"	1/2"	Alt. 7#	3/4" 18"
CS2	8'-2 1/2"	5'-2 1/2"	1-1/2"	1-5/8"	CS7	4'	3/8"	3/8"	6"	3/4" 18"
CS3	8'-2 1/2"	5'-2 1/2"	1-1/2"	1-5/8"	CS8	4'	3/8"	3/8"	6"	3/4" 18"
CS4	8'-2 1/2"	6'-2 1/2"	1-5/8"	1-5/8"	CS9	4'	1/2"	1/2"	6"	do.
CS5	12'-2 1/2"	6'-2 1/2"	1-1/2"	1-3/8"	CS10	3'	3/8"	-	8"	do.
					CS11	3'	3/8"	-	8"	do.
					CS12	4'	1/2"	1/2"	6"	Discontin.
					CS13	4'	1/2"	1/2"	Alt. 7#	3/4" 18"

BEAM	SIZE	STEEL - EACH		TOP	BEAM	REMA
		STRAIGHT	BENT			
CB1	12 x 22	2-3/8"	-	2-3/8" 15'-0"	3/4"	12'-0"
CB2	12 x 22	1-1/2"	2-7/8"	3/4"	3'-6" 0'-0" 10'-10" 12'	
CB3	12 x 22	2-3/8"	2-7/8"	3/4"	3'-6" 0'-0" 10'-12"	
CB4	12 x 22	2-3/8"	2-7/8"	3/4"	6'-6" 0'-10" 12'	
CB5	12 x 16	2-3/8"	2-3/8"	3/4"	6'-6" 0'-10"	
CB6	12 x 16	2-3/8"	2-3/8"	3/4"	6'-6" 0'-10"	
CB7	12 x 16	2-3/8"	1-3/8"	3/4"	6'-6" 12'	
CB8	12 x 28	2-3/8"	-	2-1/2" 14'-0"	3/4"	6'-9" 3'-12"
CB9	14 x 28	2-1/2"	2-1/2"	3/4"	4'-6" 3'-6" 10'-10" 12'-15"	
CB10	12 x 28	2-3/8"	-	2-1/2" 20'-0"	3/4"	6'-9" 3'-12"
CB11	12 x 16	2-3/8"	2-3/8"	3/4"	4'-6" 8'-10"	
CB12	10 x 16	1-7/8"	1-7/8"	3/4"	6'-6" 8'-10"	
CB13	10 x 16	1-7/8"	1-7/8"	3/4"	6'-6" 8'-10"	
CB14	14 x 32	3-1/2"	2-1/2"	3/4"	4'-6" 3'-6" 10'-10" 12'-15"	
CB15	10 x 16	2-3/8"	1-3/8"	3/4"	6'-6" 8'-10"	
CB16	12 x 16	1-3/8"	2-3/8"	3/4"	6'-6" 8'-10"	
CB17	8 x 16	1-3/8"	1-3/8"	3/4"	6'-6" 8'-10"	
CB18	8 x 16	1-3/8"	1-3/8"	3/4"	6'-6" 8'-10"	
CB19	8 x 22	1-1/2"	1-1/2"	3/4"	6'-6" 8'-10" 10'-12"	
CB20	12 x 22	2-3/8"	2-1/2"	3/4"	3'-6" 0'-0" 10'-10" 12'	3'-6" in center; ends
CB21	12 x 22	2-1/2"	2-1/2"	3/4"	3'-6" 0'-0" 10'-10" 12'	3'-6" in center; ends
CB22	8 x 14	2-3/8"	-	3/4"	3'-6" 0'-0" 10'-10" 12'	3'-6" in center; ends



CEILING & ROOF FRAMING PLAN
Scale 1/8" = 1'-0"

		ACADEMY OF MEDICINE - CONDITION ASSESSMENT 875 WEST PEACHTREE STREET NE ATLANTA, GEORGIA 30309		TITLE STRUCTURAL - HISTORIC CEILING AND ROOF FRAMING PLAN	
		DATE 11.21.08		SHEET NUMBER 69	

PALLACIO COLLABORATIVE COST ESTIMATE

GROUP	DESCRIPTION	QTY.	UNIT	PRICE	TOTAL	PRIORITY
A	FOUNDATION WORK					
* 01	Dig Out Planter, Add Drainage & Waterproofing	1	LS	3,000.00	3,000	1
	TOTAL FOUNDATION WORK				\$3,000	
B	STRUCTURAL WORK					
* 01	Add Hurricane Anchors to Roof Rafters	375	EACH	8.00	3,000	1
* 02	Catwalk w/Railing above Auditorium	45	LF	100.00	4,500	1
	TOTAL STRUCTURAL WORK				\$7,500	
	EXTERIOR ENVELOPE					
01	Repoint Mortar Joints at Pavers & Stairs	1,390	SF	10.00	13,900	2
02	Stucco (Scrape, Watertight, Fibermesh, Elastomeric Coat)	12,700	SF	12.00	152,400	2
03	Protective Concrete Coating at Stone Ledges & Coping	700	LF	15.00	10,500	2
04	Repoint Limestone Wainscot & Ledges/Coping	4,160	SF	10.00	41,600	2
05	Remove Exterior Railing	147	LF	7.50	1,103	1
	New Exterior Railing, Wrough Iron (Historic Design)	356	LF	150.00	53,400	1
* 06	Replace Ext Basement Door, Frame, Hardware & Transom	1	EACH	5,000.00	5,000	1
* 07	Scrape, Epoxy, Remove & Reinstall Glazing & Paint Windows	1,380	SF	50.00	69,000	1
08	Custom Storm Windows (Match Existing Design/Profiles)	1,380	SF	45.00	62,100	2
* 09	Replace Exterior Door Hardware	6	EACH	1,500.00	9,000	1
* 10	Roof Work					
	Remove & Replace Membrane Roofing	3,420	SF	16.50	56,430	1
	Copper Flashing at Flat Roof & Valleys	670	LF	40.00	26,800	1
	Remove & Replace Copper Integral Gutters	300	LF	200.00	60,000	1
	Roof Hatches (Includes cut & patch roofing)	2	EACH	1,500.00	3,000	1
	Roof Hatches (Includes cut & patch roofing)	2	EACH	1,500.00	3,000	1
	Replace Undersized Roof Scuppers w/New	10	EACH	750.00	7,500	1
11	Attic Insulation Work					2
	Insulation-Closed Cell Soy Based	10,335	SF	2.10	21,704	
	Miscellaneous Insulation Work Allowance	1	LS	2,500.00	2,500	
	TOTAL EXTERIOR ENVELOPE				\$598,936	

GROUP	DESCRIPTION	QTY.	UNIT	PRICE	TOTAL	PRIORITY
C	INTERIORS					
* 01	Replace Interior Door Hardware	10	EACH	1,500.00	15,000	1
* 02	Paint Plaster					3
	Paint Plaster Walls & Trim (Budget Quote)	9,375	PSF	7.00	65,625	
	Paint Plaster Ceilings (Budget Quote)	9,375	SF	2.50	23,438	
* 03	Remove & Replace Fabric Wall Panels at Auditorium	1,870	SF	26.50	49,555	3
* 04	Remove & Replace Fabric Wall Panels at Library	830	SF	26.50	21,995	3
* 05	Miscellaneous Plaster Patching and Repair	1	LS	10,000.00	10,000	2
* 06	Remove & Replace Carpet at Lounge & Women's Lounge	160	SY	84.00	13,440	3
* 07	Remove & Replace Carpet at Auditorium	267	SY	84.00	22,428	3
* 08	Remove & Replace VCT at Library	1,430	SF	8.50	12,155	3
* 09	Refinish Hardwood Flooring at Stage Area	400	SF	5.00	2,000	3
* 10	Acoustical Plaster Ceiling at Library	1,680	SF	25.00	42,000	2
11	New Finishes & Accessories at Main Level Restrooms					
	Gut Existing Restrooms	475	SF	7.50	3,563	3
	Interior Doors (Remove, Refurbish & Reinstall)	4	EACH	650.00	2,600	3
	Vanity Tops, Solid Surface	13	LF	275.00	3,575	3
	Toilet Compartments, Solid Plastic	5	EACH	850.00	4,250	3
	Urinal Screens	2	EACH	400.00	800	3
	Toilet Accessories & Mirrors	1	LS	3,000.00	3,000	3
	Vinyl Wall Covering at Vestibules	535	SF	2.75	1,471	3
	Wall Tile at Restrooms, Full Height	1,075	SF	12.00	12,900	3
	Ceramic Tile Floor & Base	475	SF	17.00	8,075	3
	Drywall Ceiling w/Finish	475	SF	6.00	2,850	3
	TOTAL INTERIORS				\$320,719	

PALLADIO COLLABORATIVE COST ESTIMATE

GROUP	DESCRIPTION	QTY.	UNIT	PRICE	TOTAL	PRIORITY
D	SERVICES					
* 01	Elevator					
	Repair Elevator	1	LS	7,500.00	7,500	1
	Upgrade Elevator Cab Finishes	1	LS	5,000.00	5,000	1
02	Plumbing					
	Remove & Replace Water Heater	1	EACH	2,500.00	2,500	1
	Recirculating Pump	1	EACH	800.00	800	1
	Remove & Replace Water Closet (Tank Type)	10	EACH	700.00	7,000	3
	Remove & Replace Urinal	4	EACH	750.00	3,000	3
	Remove & Replace Lavatory	9	EACH	650.00	5,850	3
	Remove & Replace Sink	3	EACH	650.00	1,950	3
	Remove & Replace Electric Water Cooler	2	EACH	1,700.00	3,400	3
	Remove & Replace Service Sink	2	EACH	1,300.00	2,600	3
	Domestic Water Piping Insulation (Hot & Cold)	30	FIXTS	1,000.00	30,000	3
	Hot Water Recirculating Piping w/Insulation	500	LF	40.00	20,000	3
	Grease Interceptor, 1500 Gal	2	EACH	5,500.00	11,000	1
	Backflow Preventer, 2"	1	EACH	4,500.00	4,500	1
	Miscellaneous Cutting & Patching Allowance	1	LS	5,000.00	5,000	3
	Replace Domestic Water for Lead Contamination, NIC	0	LS	0.00	0	3
03	HVAC					
	Miscellaneous Boiler Repair	1	LS	5,000.00	5,000	2
	Remove & Replace Cooling Tower	20	TONS	150.00	3,000	2
	Remove & Replace DX Split Systems	35	TONS	1,850.00	64,750	2
	Energy Recovery Unit	8,000	CFM	8.00	64,000	2
	Remove & Replace Roof Structure for Attic Equipment	1	LS	2,500.00	2,500	2
	Ductwork w/Insulation Associated with ERU	2,500	LBS	10.00	25,000	2
	Fire Dampers	10	EACH	350.00	3,500	2
	Miscellaneous Ductwork Insulation Allowance	1	LS	10,000.00	10,000	2
	DDC Temperature Control System	1	LS	40,000.00	40,000	2
	Miscellaneous HVAC Work	1	LS	10,000.00	10,000	2
04	Infrared Scan of Electrical Panels	1	LS	1,000.00	1,000	2
05	Lighting					
	Remove & Replace Lighting at Basement Level (Partial Area)	4,665	SF	7.00	32,655	2
	Remove & Replace Lighting at Main Level	9,375	SF	12.50	117,188	2
	Convenience Lighting at Attic	1	LS	1,000.00	1,000	2
	Exit Lighting	20	FIXTS	350.00	7,000	2
	Emergency Battery Packs	40	FIXTS	300.00	12,000	2
	Dimmer System at Auditorium Stage	1	LS	5,000.00	5,000	2
	Decorative Exterior Wall Sconce at Basement Entry	2	EACH	1,000.00	2,000	2
06	Telephone/Data System, Wired					
	Backboard, Racks, Etc.	1	LS	3,500.00	3,500	3
	New Outlet & Cabling in Existing Location (3 Drops/Each)	96	DROPS	200.00	19,200	3
	Miscellaneous Plaster Patching	45	EACH	250.00	11,250	3
07	Television System, Wired	12	EACH	275.00	3,300	3

GROUP	DESCRIPTION	QTY.	UNIT	PRICE	TOTAL	PRIORITY
08	Security System, Rough-In	1	LS	2,500.00	2,500	2
* 09	Fire Alarm System, All New	18,275	SF	2.00	36,550	1
10	Auditorium Sound Reinforcing Allowance	1	LS	5,000.00	5,000	2
11	Lightning Protection, Repair/Upgrade Existing System	18,275	SF	0.45	8,224	2
	TOTAL SERVICES				\$605,216	
E	EQUIPMENT & FURNISHINGS					
* 01	Re-Upholster Auditorium Seats (Budget Quote)	254	EACH	89.00	22,606	3
* 02	Stage Curtain	360	SF	15.00	5,400	3
	TOTAL EQUIPMENT & FURNISHINGS				\$28,006	
	SUBTOTAL				\$1,563,378	
	GENERAL CONDITIONS & REQUIREMENTS	10%			\$156,338	
	CONTRACTOR FEE	6%			\$103,183	
	DESIGN / MARKET CONDITIONS CONTINGENCY	15%			\$273,435	
	CM CONTINGENCY	5%			\$104,817	
	TOTAL PROBABLE CONSTRUCTION COST				\$2,201,150	
	Future Phase Work:					
	Paint Lower Level (North of Reception 114 Only)				\$8,448	
	Renovate Portion of Lower Level				\$520,000	
	Liquid Applied Moisture Barrier at Lower Level Slab				\$26,188	
	Excavate, Waterproof and Apply Drainage Mat at Foundation Wall				\$119,675	
	Dry Pipe Fire Protection System @ Attic				\$50,929	
	Wet Pipe Fire Protection System @ Occupied Spaces				\$72,650	
	Fire Protection system Utilities, Connections & Vault				\$70,397	
	Anticipated Bid Date: 1st Quarter 2009 (Assume 1% escalation per quarter beyond this point)					
	Estimate assumes using the CM-at-risk delivery method					
	Estimate assumes normal working hours with unoccupied building					



**200825: GEORGIA INSTITUTE OF TECHNOLOGY
CONDITION ASSESSMENT - ACADEMY OF MEDICINE**

COST ESTIMATE

11.21.08

REVISED 01.07.09

SHEET NUMBER **71**

PALLACIO COLLABORATIVE COST ESTIMATE – PRIORITY 1: CRITICAL WORK (Damage will progress significantly if delayed)

GROUP	DESCRIPTION	QTY.	UNIT	PRICE	TOTAL	PRIORITY
A	FOUNDATION WORK					
* 01	Dig Out Planter, Add Drainage & Waterproofing	1	LS	3,000.00	3,000	1
	TOTAL FOUNDATION WORK				\$3,000	
B	STRUCTURAL WORK					
* 01	Add Hurricane Anchors to Roof Rafters	375	EACH	8.00	3,000	1
* 02	Catwalk w/Railing above Auditorium	45	LF	100.00	4,500	1
	TOTAL STRUCTURAL WORK				\$7,500	
	EXTERIOR ENVELOPE					
05	Remove Exterior Railing	147	LF	7.50	1,103	1
	New Exterior Railing, Wrough Iron (Historic Design)	356	LF	150.00	53,400	1
* 06	Replace Ext Basement Door, Frame, Hardware & Transom	1	EACH	5,000.00	5,000	1
* 07	Scrape, Epoxy, Remove & Reinstall Glazing & Paint Windows	1,380	SF	50.00	69,000	1
* 09	Replace Exterior Door Hardware	6	EACH	1,500.00	9,000	1
* 10	Roof Work					
	Remove & Replace Membrane Roofing	3,420	SF	16.50	56,430	1
	Copper Flashing at Flat Roof & Valleys	670	LF	40.00	26,800	1
	Remove & Replace Copper Integral Gutters	300	LF	200.00	60,000	1
	Roof Hatches (Includes cut & patch roofing)	2	EACH	1,500.00	3,000	1
	Replace Undersized Roof Scuppers w/New	10	EACH	750.00	7,500	1
	TOTAL EXTERIOR ENVELOPE				\$291,233	
C	INTERIORS					
* 01	Replace Interior Door Hardware	10	EACH	1,500.00	15,000	1
	TOTAL INTERIORS				\$15,000	

GROUP	DESCRIPTION	QTY.	UNIT	PRICE	TOTAL	PRIORITY
D	SERVICES					
* 01	Elevator					
	Repair Elevator	1	LS	7,500.00	7,500	1
	Upgrade Elevator Cab Finishes	1	LS	5,000.00	5,000	1
02	Plumbing					
	Remove & Replace Water Heater	1	EACH	2,500.00	2,500	1
	Recirculating Pump	1	EACH	800.00	800	1
	Grease Interceptor, 1500 Gal	2	EACH	5,500.00	11,000	1
	Backflow Preventer, 2"	1	EACH	4,500.00	4,500	1
* 09	Fire Alarm System, All New	18,275	SF	2.00	36,550	1
	TOTAL SERVICES				\$67,850	
E	EQUIPMENT & FURNISHINGS					
	TOTAL EQUIPMENT & FURNISHINGS				\$0	
	SUBTOTAL				\$384,583	
	GENERAL CONDITIONS & REQUIREMENTS	10%			\$38,458	
	CONTRACTOR FEE	6%			\$25,382	
	DESIGN / MARKET CONDITIONS CONTINGENCY	15%			\$67,263	
	CM CONTINGENCY	5%			\$25,784	
	TOTAL PROBABLE CONSTRUCTION COST				\$541,471	
	Anticipated Bid Date: 1st Quarter 2009 (Assume 1% escalation per quarter beyond this point)					
	Estimate assumes using the CM-at-risk delivery method					
	Estimate assumes normal working hours with unoccupied building					

PALLADIO COLLABORATIVE COST ESTIMATE – PRIORITY 2: URGENT (Damage is Slower Paced)

GROUP	DESCRIPTION	QTY.	UNIT	PRICE	TOTAL	PRIORITY
A	FOUNDATION WORK					
	TOTAL FOUNDATION WORK				\$0	
B	STRUCTURAL WORK					
	TOTAL STRUCTURAL WORK				\$0	
	EXTERIOR ENVELOPE					
01	Repoint Mortar Joints at Pavers & Stairs	1,390	SF	10.00	13,900	2
02	Stucco (Scrape, Watertight, Fibermesh, Elastomeric Coat)	12,700	SF	12.00	152,400	2
03	Protective Concrete Coating at Stone Ledges & Coping	700	LF	15.00	10,500	2
04	Repoint Limestone Wainscot & Ledges/Coping	4,160	SF	10.00	41,600	2
08	Custom Storm Windows (Match Existing Design/Profiles)	1,380	SF	45.00	62,100	2
11	Attic Insulation Work					2
	Insulation-Closed Cell Soy Based	10,335	SF	2.10	21,704	
	Miscellaneous Insulation Work Allowance	1	LS	2,500.00	2,500	
	TOTAL EXTERIOR ENVELOPE				\$304,704	
C	INTERIORS					
* 05	Miscellaneous Plaster Patching and Repair	1	LS	10,000.00	10,000	2
* 10	Acoustical Plaster Ceiling at Library	1,680	SF	25.00	42,000	2
	TOTAL INTERIORS				\$52,000	

GROUP	DESCRIPTION	QTY.	UNIT	PRICE	TOTAL	PRIORITY
D	SERVICES					
03	HVAC					
	Miscellaneous Boiler Repair	1	LS	5,000.00	5,000	2
	Remove & Replace Cooling Tower	20	TONS	150.00	3,000	2
	Remove & Replace DX Split Systems	35	TONS	1,850.00	64,750	2
	Energy Recovery Unit	8,000	CFM	8.00	64,000	2
	Remove & Replace Roof Structure for Attic Equipment	1	LS	2,500.00	2,500	2
	Ductwork w/Insulation Associated with ERU	2,500	LBS	10.00	25,000	2
	Fire Dampers	10	EACH	350.00	3,500	2
	Miscellaneous Ductwork Insulation Allowance	1	LS	10,000.00	10,000	2
	DDC Temperature Control System	1	LS	40,000.00	40,000	2
	Miscellaneous HVAC Work	1	LS	10,000.00	10,000	2
04	Infrared Scan of Electrical Panels	1	LS	1,000.00	1,000	2
05	Lighting					
	Remove & Replace Lighting at Basement Level (Partial Area)	4,665	SF	7.00	32,655	2
	Remove & Replace Lighting at Main Level	9,375	SF	12.50	117,188	2
	Convenience Lighting at Attic	1	LS	1,000.00	1,000	2
	Exit Lighting	20	FIXTS	350.00	7,000	2
	Emergency Battery Packs	40	FIXTS	300.00	12,000	2
	Dimmer System at Auditorium Stage	1	LS	5,000.00	5,000	2
	Decorative Exterior Wall Sconce at Basement Entry	2	EACH	1,000.00	2,000	2
08	Security System, Rough-In	1	LS	2,500.00	2,500	2
10	Auditorium Sound Reinforcing Allowance	1	LS	5,000.00	5,000	2
11	Lightning Protection, Repair/Upgrade Existing System	18,275	SF	0.45	8,224	2
	TOTAL SERVICES				\$421,316	
E	EQUIPMENT & FURNISHINGS					
	TOTAL EQUIPMENT & FURNISHINGS				\$0	
	SUBTOTAL				\$778,020	
	GENERAL CONDITIONS & REQUIREMENTS	10%			\$77,802	
	CONTRACTOR FEE	6%			\$51,349	
	DESIGN / MARKET CONDITIONS CONTINGENCY	15%			\$136,076	
	CM CONTINGENCY	5%			\$52,162	
	TOTAL PROBABLE CONSTRUCTION COST				\$1,095,409	
	Anticipated Bid Date: 1st Quarter 2009 (Assume 1% escalation per quarter beyond this point)					
	Estimate assumes using the CM-at-risk delivery method					
	Estimate assumes normal working hours with unoccupied building					

PALLADIO COLLABORATIVE COST ESTIMATE – PRIORITY 3

GROUP	DESCRIPTION	QTY.	UNIT	PRICE	TOTAL	PRIORITY
A	FOUNDATION WORK					
	TOTAL FOUNDATION WORK				\$0	
B	STRUCTURAL WORK					
	TOTAL STRUCTURAL WORK				\$0	
	EXTERIOR ENVELOPE					
	TOTAL EXTERIOR ENVELOPE				\$0	
C	INTERIORS					
* 02	Paint Plaster					3
	Paint Plaster Walls & Trim (Budget Quote)	9,375	PSF	7.00	65,625	
	Paint Plaster Ceilings (Budget Quote)	9,375	SF	2.50	23,438	
* 03	Remove & Replace Fabric Wall Panels at Auditorium	1,870	SF	26.50	49,555	3
* 04	Remove & Replace Fabric Wall Panels at Library	830	SF	26.50	21,995	3
* 06	Remove & Replace Carpet at Lounge & Women's Lounge	160	SY	84.00	13,440	3
* 07	Remove & Replace Carpet at Auditorium	267	SY	84.00	22,428	3
* 08	Remove & Replace VCT at Library	1,430	SF	8.50	12,155	3
* 09	Refinish Hardwood Flooring at Stage Area	400	SF	5.00	2,000	3
11	New Finishes & Accessories at Main Level Restrooms					
	Gut Existing Restrooms	475	SF	7.50	3,563	3
	Interior Doors (Remove, Refurbish & Reinstall)	4	EACH	650.00	2,600	3
	Vanity Tops, Solid Surface	13	LF	275.00	3,575	3
	Toilet Compartments, Solid Plastic	5	EACH	850.00	4,250	3
	Urinal Screens	2	EACH	400.00	800	3
	Toilet Accessories & Mirrors	1	LS	3,000.00	3,000	3
	Vinyl Wall Covering at Vestibules	535	SF	2.75	1,471	3
	Wall Tile at Restrooms, Full Height	1,075	SF	12.00	12,900	3
	Ceramic Tile Floor & Base	475	SF	17.00	8,075	3
	Drywall Ceiling w/Finish	475	SF	6.00	2,850	3
	TOTAL INTERIORS				\$253,719	

GROUP	DESCRIPTION	QTY.	UNIT	PRICE	TOTAL	PRIORITY
D	SERVICES					
02	Plumbing					
	Remove & Replace Water Closet (Tank Type)	10	EACH	700.00	7,000	3
	Remove & Replace Urinal	4	EACH	750.00	3,000	3
	Remove & Replace Lavatory	9	EACH	650.00	5,850	3
	Remove & Replace Sink	3	EACH	650.00	1,950	3
	Remove & Replace Electric Water Cooler	2	EACH	1,700.00	3,400	3
	Remove & Replace Service Sink	2	EACH	1,300.00	2,600	3
	Domestic Water Piping Insulation (Hot & Cold)	30	FIXTS	1,000.00	30,000	3
	Hot Water Recirculating Piping w/Insulation	500	LF	40.00	20,000	3
	Miscellaneous Cutting & Patching Allowance	1	LS	5,000.00	5,000	3
	Replace Domestic Water for Lead Contamination, NIC	0	LS	0.00	0	3
06	Telephone/Data System, Wired					
	Backboard, Racks, Etc.	1	LS	3,500.00	3,500	3
	New Outlet & Cabling in Existing Location (3 Drops/Each)	96	DROPS	200.00	19,200	3
	Miscellaneous Plaster Patching	45	EACH	250.00	11,250	3
07	Television System, Wired	12	EACH	275.00	3,300	3
	TOTAL SERVICES				\$116,050	
E	EQUIPMENT & FURNISHINGS					
* 01	Re-Upholster Auditorium Seats (Budget Quote)	254	EACH	89.00	22,606	3
* 02	Stage Curtain	360	SF	15.00	5,400	3
	TOTAL EQUIPMENT & FURNISHINGS				\$28,006	
	SUBTOTAL				\$397,775	
	GENERAL CONDITIONS & REQUIREMENTS	10%			\$39,778	
	CONTRACTOR FEE	6%			\$26,253	
	DESIGN / MARKET CONDITIONS CONTINGENCY	15%			\$69,571	
	CM CONTINGENCY	5%			\$26,669	
	TOTAL PROBABLE CONSTRUCTION COST				\$560,046	
	Anticipated Bid Date: 1st Quarter 2009 (Assume 1% escalation per quarter beyond this point)					
	Estimate assumes using the CM-at-risk delivery method					
	Estimate assumes normal working hours with unoccupied building					



**200825: GEORGIA INSTITUTE OF TECHNOLOGY
CONDITION ASSESSMENT - ACADEMY OF MEDICINE**

COST ESTIMATE

11.21.08

REVISED 01.07.09

74
SHEET NUMBER

COLOR READINGS

See Color Narrative pages 49-50 for summary.

Colour Readings from mechanically exposed original paint layer. Location as shown on attached floor plans.

INTERIOR

**Konica-Minolta 2600d
Spectrophotometer Readings**

Munsell Readings:

H= Hue - This indicates the colours relation to a visually spaced scale of 100 hues.
V=Value - indicates the lighness or darknes of a colour in relation to a neutral grey scale.
C=Chroma - indicates the degree of a departure of a given hue from a neutral grey of the same value.

Foyer

	H	V	Y
Average of 3 readings			
The two readings are:			
SCI = Specular Component Included			
SCE = Specular Component Excluded			

Benjamin Moore Colour References

Location	SCI	H	V	Y	Reference
1. Baseboard	SCI	3.3Y	8.70	1.40	OC-7 Creamy White
	SCE	3.1Y	8.70	1.40	
2. Fluted Pilaster	SCI	0.4Y	8.00	2.40	AC-4 Yosemite Sand or 2162-50 Arizona Tan
	SCE	0.3Y	8.00	2.40	
3. Fluted Column	SCI	9.0YR	7.80	2.90	2162-50 Arizona Tan
	SCE	9.0YR	7.80	2.90	
4. Top of Fluted Column (Flutes)	SCI	2.0Y	7.20	2.10	HC-82 Bennington Grey
	SCE	2.0Y	7.20	2.10	
5. Wall	SCI	2.1Y	8.00	2.50	HC-26 Monroe Bisque
	SCE	2.0Y	8.00	2.50	
6. Wall	SCI	2.1Y	8.00	2.40	HC-26 Monroe Bisque
	SCE	2.1Y	8.00	2.40	
7. Door Frame	SCI	9.1YR	7.80	2.90	2162-50 Arizona Tan
	SCE	9.0YR	7.80	2.90	

COLOR READINGS

See Color Narrative pages 49-50 for summary.

Colour Readings from mechanically exposed original paint layer. Location as shown on attached floor plans.

Auditorium						
1. Wall		SCI	9.1YR	7.80	2.80	2162-50 Arizona Tan
		SCE	9.0YR	8.10	2.90	
2. Wall		SCI	9.1YR	7.8	2.90	2162-50 Arizona Tan
		SCE	9.1YR	8.00	2.90	
3. Wall		SCI	9.0YR	7.80	2.90	2162-50 Arizona Tan
		SCE	9.0YR	7.80	2.90	
4. Window Surround		SCI	8.8YR	7.70	2.90	2162-50 Arizona Tan
		SCE	8.8YR	7.70	2.90	
5. Column Flute (Stage)		SCI	8.8YR	7.70	2.90	2162-50 Arizona Tan
		SCE	8.8YR	7.70	2.90	
6. Wall (next to Column on Stage)		SCI	9.0YR	7.80	2.90	2162-50 Arizona Tan
		SCE	9.0YR	7.80	2.90	
7. Wall (next to Column on Stage)		SCI	8.9YR	7.70	2.90	2162-50 Arizona Tan
		SCE	8.9YR	7.70	2.90	
8. Panel Moulding	1ST	SCI	9.0 YR	7.40	3.20	50% 2162-50 Arizona Tan/50% 2162-40 Peanut Shell
		SCE	9.0YR	7.30	3.20	
	2ND	SCI	9.1YR	7.30	3.20	
		SCE	9.1YR	7.30	3.20	

COLOR READINGS

See Color Narrative pages 49-50 for summary.

Colour Readings from mechanically exposed original paint layer. Location as shown on attached floor plans.

Auditorium (Continued)

9. Panel	SCI	9.2YR	8.00	2.50	2162-50 Arizona Tan
	SCE	9.2YR	8.00	2.50	
10. Door Frame	SCI	9.1YR	7.40	3.20	2162-50 Arizona Tan
	SCE	9.1YR	7.30	3.20	

Meeting Room C (Green Room)

Attached photographs reference wall and trim colours and indicate stratigraphies.

1. Baseboard	SCI	3.4Y	8.10	2.80	HC-29 Dunmore Cream
	SCE	3.4Y	8.10	2.80	
2. A Wall (very fugitive sample) B Wall (by door) (very fugitive sample)	SCI	5.2Y	7.90	2.00	HC-96 Richmond Grey (see attached photographs AofM 4) HC-96 Richmond Grey (see attached photographs AofM 2 & 3)
	SCE	5.2Y	7.90	2.00	
3. Trim	SCI	1.0Y	8.00	2.30	HC-39 Putnam Ivory (See attached photograph AofM 1)
	SCE	1.0Y	8.00	2.30	



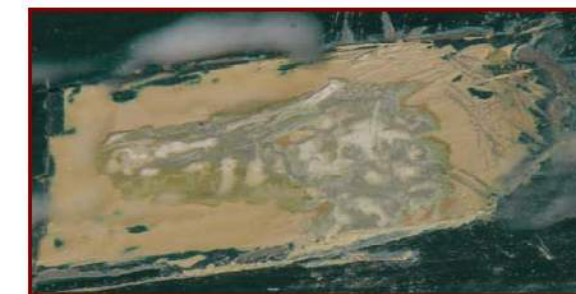
AofM 1



AofM 2



AofM 3



AofM 4

COLOR READINGS

See Color Narrative pages 49-50 for summary.

Colour Readings from mechanically exposed original paint layer. Location as shown on attached floor plans.

Meeting Room B (Yellow Room)

1. <u>Wall (under wallpaper)</u>	SCI	8.8YR	7.70	2.90	2162-50 Arizona Tan
	SCE	8.8YR	7.70	2.90	
2. <u>Trim</u>	SCI	1.9Y	8.70	1.50	OC-1 Natural Wicker
	SCE	1.9Y	8.70	1.50	
3. <u>Window</u>	SCI	1.9Y	8.70	1.50	OC-1 Natural Wicker
	SCE	2.0Y	8.90	1.50	

Meeting Room A (Dining Room)

1. <u>Baseboard</u>	SCI	1.0Y	7.70	2.20	HC-45 Shaker Beige
	SCE	0.9Y	7.70	2.20	
2. <u>Chair Rail (as Shutters)</u>	SCI	No Reading			Not Original – 1 coat primer & 1 coat contemporary paint.
	SCE	No Reading			
3. <u>Window</u>	SCI	3.5Y	8.20	1.80	HC-93 Charrington Beige
	SCE	3.4Y	8.20	1.80	
4. <u>Column Base</u>	SCI	1.5Y	8.20	3.60	2153-50 Desert Tan
	SCE	1.5Y	8.20	3.60	
5. <u>Shutters (as Chair Rail)</u>	SCI	No Reading			Not Original – 1 coat primer & 1 coat contemporary paint.
	SCE	No Reading			

COLOR READINGS

See Color Narrative pages 49-50 for summary.

Colour Readings from mechanically exposed original paint layer. Location as shown on attached floor plans.

EXTERIOR

Lower

1. <u>Wood Trim</u>	SCI	1.6Y	7.60	1.80	HC-80 Bleeker Beige
	SCE	1.6Y	7.60	1.80	
2. <u>Wall</u>	SCI	0.9Y	7.10	3.80	HC-34 Wilmington Tan
	SCE	0.9Y	7.10	3.80	
3. <u>Door</u>	SCI	1.6Y	7.60	1.80	HC-80 Bleeker Beige
	SCE	1.6Y	7.60	1.80	
4. <u>Stucco</u>	SCI	0.9Y	7.10	3.80	1. HC-34 Wilmington Tan
	SCE	0.9Y	7.10	3.80	
<u>Trim around Window</u>	SCI	1.7Y	8.20	3.60	2. 2153-50 Desert Tan
	SCE	1.7Y	8.20	3.60	
5. <u>Column</u>	SCI	0.9Y	7.20	3.80	HC-34 Wilmington Tan
	SCE	0.9Y	7.10	3.80	
	SCI	0.9Y	6.80	3.60	HC-38 Decatur Buff
	SCE	0.9Y	6.80	3.60	
6. <u>Window</u>	SCI	1.6Y	7.70	1.70	HC-80 Bleeker Beige
	SCE	1.6Y	7.70	1.70	
	SCI	2.7Y	7.00	1.80	HC-95 Sag Harbour Grey (over HC-80)

COLOR READINGS

See Color Narrative pages 49-50 for summary.

Colour Readings from mechanically exposed original paint layer. Location as shown on attached floor plans.

EXTERIOR (Continued)

Lower (Continued)

7. Wall (Yellow – 2 nd Layer)	SCI	0.1Y	8.50	3.40	2160-50 Oklahoma Wheat
	SCE	10.0YR	8.50	3.40	
8. Wall (1 st Layer)	SCI	0.3Y	8.50	3.50	2160-50 Oklahoma Wheat
	SCE	0.2Y	8.50	3.50	
9. Wall (1 st Layer)	SCI	0.1Y	8.50	3.40	2160-50 Oklahoma Wheat
	SCE	0.1Y	8.50	3.40	

Upper

1. Wall	SCI	1.8Y	7.30	3.30	HC-28 Shelburne Buff
	SCE	1.8Y	7.30	3.30	
	SCI	0.9Y	7.10	3.80	HC-34 Wilmington Tan (Yellow overpaint 2160-50 Oklahoma Wheat)
	SCE	0.9Y	7.10	3.80	

COLOR READINGS

See Color Narrative pages 49-50 for summary.

Colour Readings from mechanically exposed original paint layer. Location as shown on attached floor plans.

Munsell Colour Conversion and Colour Charts.

Foyer Wall Colour - HC-26 - Monroe Bisque - 2.1Y/8.0/2.5

PWD illuminant C Two Degree Observer

Hue (eg, 5.6R) X L* R C
 Value (1-9) Y a* G M
 Chroma (0-28+) Z b* B Y
 Gamma K

Display Hue Page
 Color Tolerance Set
 Display Value Page
 Display ColorChecker
 Picture Notation

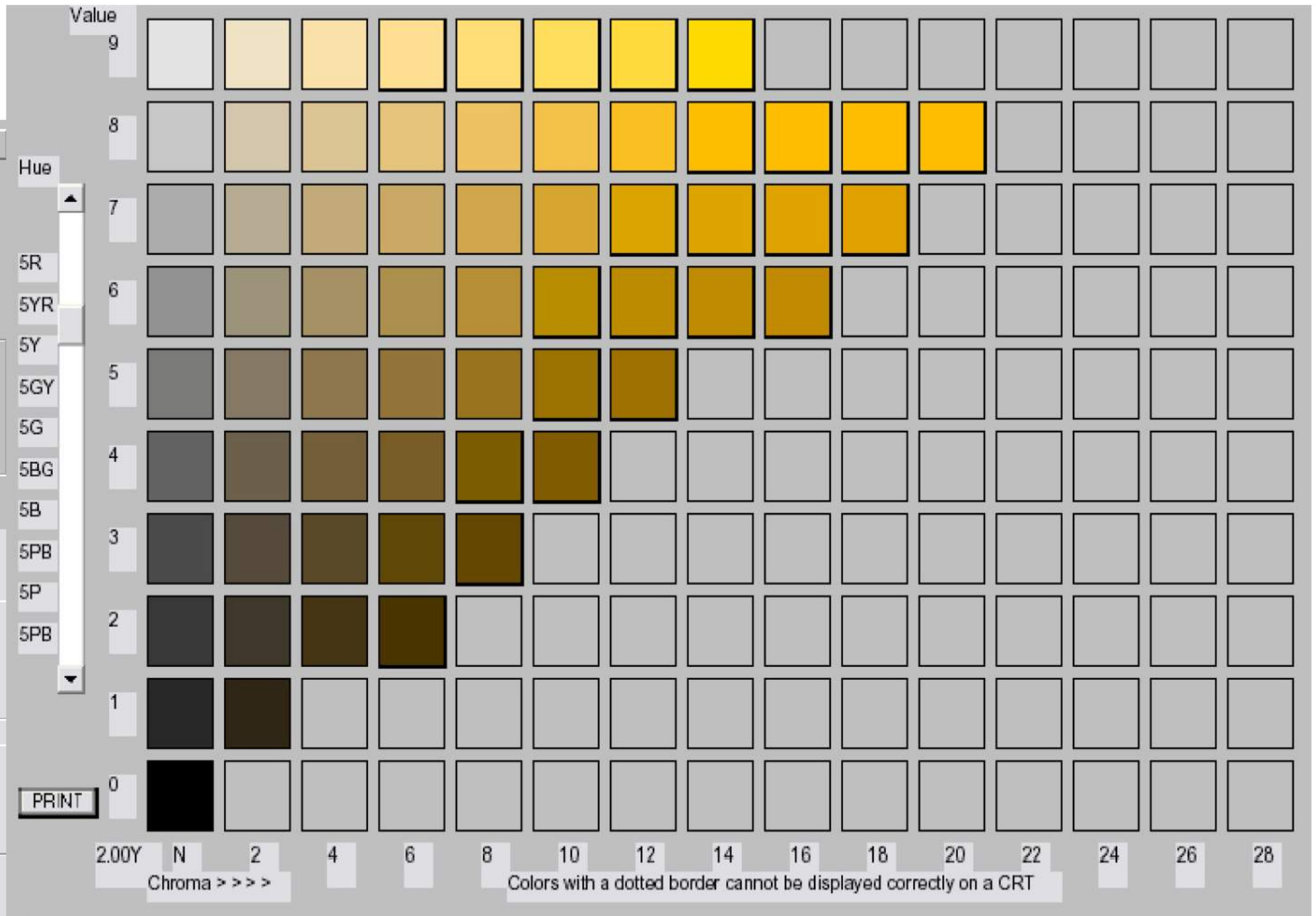
 Lighter L + 5 Greener A - 5 Yellower B + 5
 Darker L - 5 Bluer B - 5 Redder A + 5

Tolerance
 DL DA DB

Standard D50 Illuminant
 L*
 a*
 b*

Black Lines

Munsell Conversion



COLOR READINGS

See Color Narrative pages 49-50 for summary.

Colour Readings from mechanically exposed original paint layer. Location as shown on attached floor plans.

Munsell Colour Conversion and Colour Charts.

Auditorium Walls - 2162-50 Arizona Tan - 9.00YR/8.0/2.9

PWD Illuminant C Two Degree Observer

PRINT Exit Help About

Hue (eg, 5.6R) X L* R C
 Value (1-9) Y a* G M
 Chroma (0-28+) Z b* B Y
 x Gamma K
 y

Illuminant
 C 1931
 D5000
 D65 10

Instrument
 Comm Port
 Calibrate Measure Save

Display Hue Page
 Color Tolerance Set
 Display Value Page
 Display ColorChecker
 Picture Notation

Munsell Conversion

Print

Greener A - 5 Lighter L + 5 Yellower B + 5

B - 5 Bluer L - 5 Darker A + 5 Redder

Tolerance
 DL
 DA
 DB

Standard CIELAB
 L*
 a*
 b*

Black Lines

